



TOWN OF PENFIELD

3100 Atlantic Avenue, Penfield, NY 14526-9798

ZONING BOARD OF APPEALS AGENDA

Thursday, January 20, 2022 6:30 PM

Daniel DeLaus, Chairman presiding

Tony LaFountain, Town Board Liaison

- I. Call to Order
- II. Approval of Minutes – November 18, 2021
- III. Work Session
- IV. Tabled Applications:
 1. Application 21Z-0057
2200 Penfield Road
Amy Catalano/Vital Signs
- V. Public Hearing Applications. Opportunities for Public Participation and Board Deliberations Following Each Applicant Presentation.
 1. Application # 22Z-0001
1910 Empire Boulevard
Total Image Solutions
 2. Application 22Z-0002
68 Ashlyn Rise
Theresa Fiorica
 3. Application 22Z-0003
14 Corral Drive
Brandon and Nicolina Belanger
 4. Application 22Z-0004
64 Maple Hill Farm Road
Gretchen and Michael Baumer
 5. Application 22Z-0005
3825 Atlantic Avenue
David Garritano
 6. Application 22Z-0006
2171 Carter Road
Marco G. Viola
- VI. Executive Session
- VII. Next Meeting: Thursday, February 17, 2022
- VIII. Adjournment

This meeting will be video recorded and broadcast LIVE via the town's website www.penfield.org and the Town's Government Access Cable Channel 1303

Questions regarding video coverage contact Penfield TV at (585) 340-8661.

**A NOTICE OF PUBLIC HEARING, PENFIELD ZONING BOARD OF APPEALS
LEGAL NOTICE**

PLEASE TAKE NOTICE that a Public Hearing will be held on Thursday, January 20, 2022, immediately following a work session meeting commencing at 6:30 PM local time. The board will discuss tabled matters and other business that may come before it during the work session, followed by a Public Hearing to consider each of the following applications.

Public Hearing Applications:

1. Total Image Solutions, 196 Theater Road, South Hill, VA, 23970, on behalf of Joe's Kwik Marts, LLC, requests approval for a Conditional Use under Section 250-13.3 and Section 250-5.7-C (2) of the Code to allow the continued operation of an existing gasoline service station/convenience store by a new owner/operator at 1910 Empire Boulevard. The property is currently or formerly owned by Joe's Kwik Marts, LLC and is zoned GB. SBL #093.02-1-21. Application #22Z-0001.
2. Theresa Fiorica, 68 Ashlyn Rise, Fairport, NY, 14450 requests an Area Variance under Section 250-14.3 of the Code to allow a patio with less side setback than required under Section 250-5.1-F (1) of the Code at 68 Ashlyn Rise. The property is currently or formerly owned by Jaden Fiorica and is zoned RR-1. SBL #140.01-8-13. Application #22Z-0002.
3. Brandon & Nicolina Belanger, 14 Corral Drive, Penfield, NY, 14526 request Area Variances under Section 250-14.3 of the Code to allow a swimming pool appurtenance with less side setbacks than required under Section 250-5.1-F (1) of the Code at 14 Corral Drive. The property is currently or formerly owned by Brandon & Nicolina Belanger and is zoned R-1-20. SBL #109.10-1-34. Application #22Z-0003.
4. Gretchen & Michael Baumer, 64 Maple Hill Farm Road, Penfield, NY, 14526 request Area Variances under Section 250-14.3 of the Code to allow a shed with less side setback than required under Section 250-5.1-F (1) of the Code and less rear setback than required under Section 250-5.1-F (12 (b) of the Code at 64 Maple Hill Farm Road. The property is currently or formerly owned by Gretchen Baumer and is zoned R-1-20. SBL #124.16-1-78. Application #22Z-0004.
5. David Garritano, 3825 Atlantic Avenue, Fairport, NY, 14450 requests an Area Variance under Section 250-14.3 of the Code to allow a larger detached garage than permitted under Section 250-2.2 of the Code at 3825 Atlantic Avenue. The property is currently or formerly owned by David Garritano and is zoned RA-2. SBL #111.03-1-16. Application #22Z-0005.
6. Marco G. Viola, 2171 Carter Road, Fairport, NY, 14450 requests an Area Variance under Section 250-14.3 of the Code to allow a second garage whereas a maximum of one garage is allowed under Section 250-5.1-D (2) of the Code at 2171 Carter Road. The property is currently or formerly owned by Marco and Irene Viola and is zoned RR-1. SBL #140.02-1-25.15. Application #22Z-0006.

Tabled Matters:

1. Amy Catalano/Vital Signs, 764 Ridge Road, Webster, NY, 14580 on behalf of Genesee Valley Physical Therapy requests approval for a Special Use Permit for signage under Section 250-10.3-A of the Code to allow a second building-mounted sign whereas a maximum of one building-mounted sign is permitted under Section 250-10.13-C of the Code at 2200 Penfield Road. The property is currently or formerly owned by Penn Fair Plaza, LLC and is zoned GB. SBL #140.01-1-3.1. Application #21Z-0057.

Please contact the Building and Zoning Department with any questions or concerns.

Amy Steklof
Town Clerk, RMC/CMC

ZONING BOARD OF APPEALS AGENDA

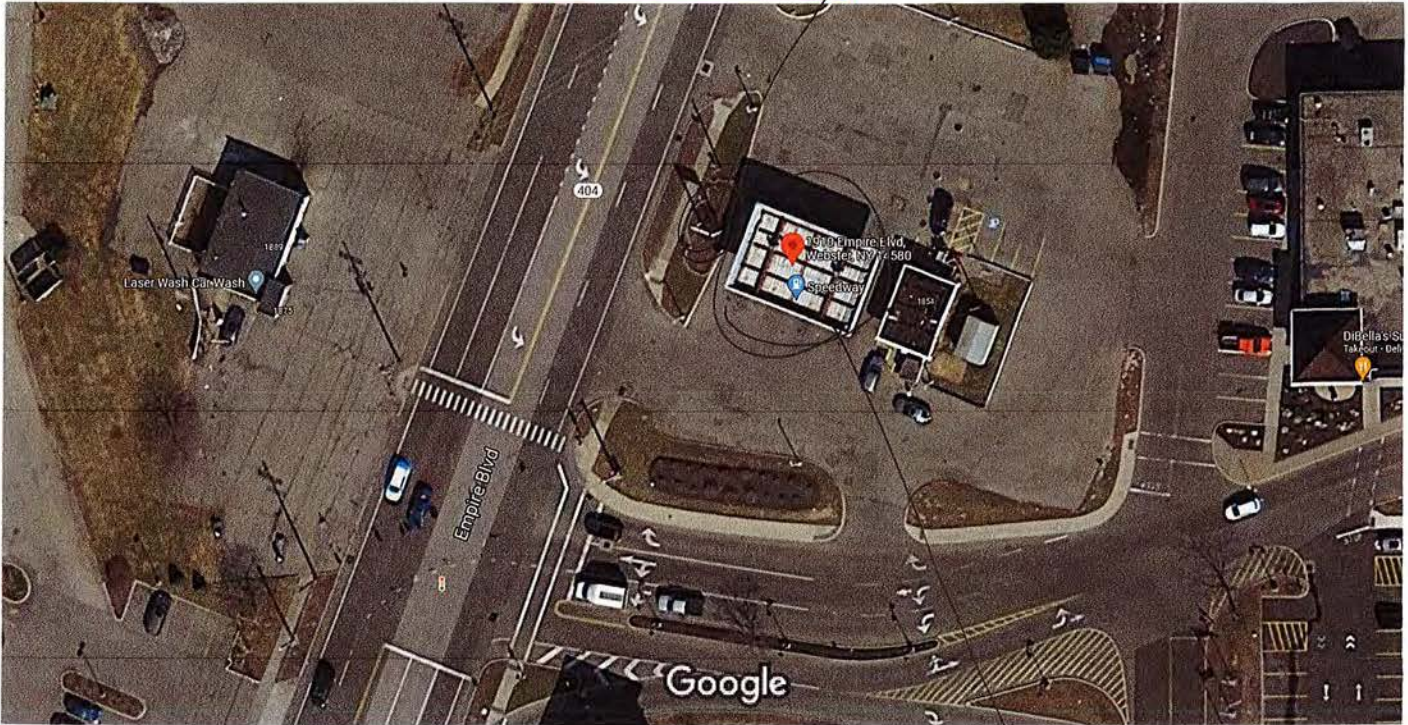
Public Hearing Application #1

Application # 22Z-0001
1910 Empire Blvd.
Total Image Solutions

See Pages to Follow

DEC 16 2021

reface 10 sign



Imagery ©2021 Maxar Technologies, New York GIS, Map data ©2021 20 ft



reface canopy

1910 Empire Blvd

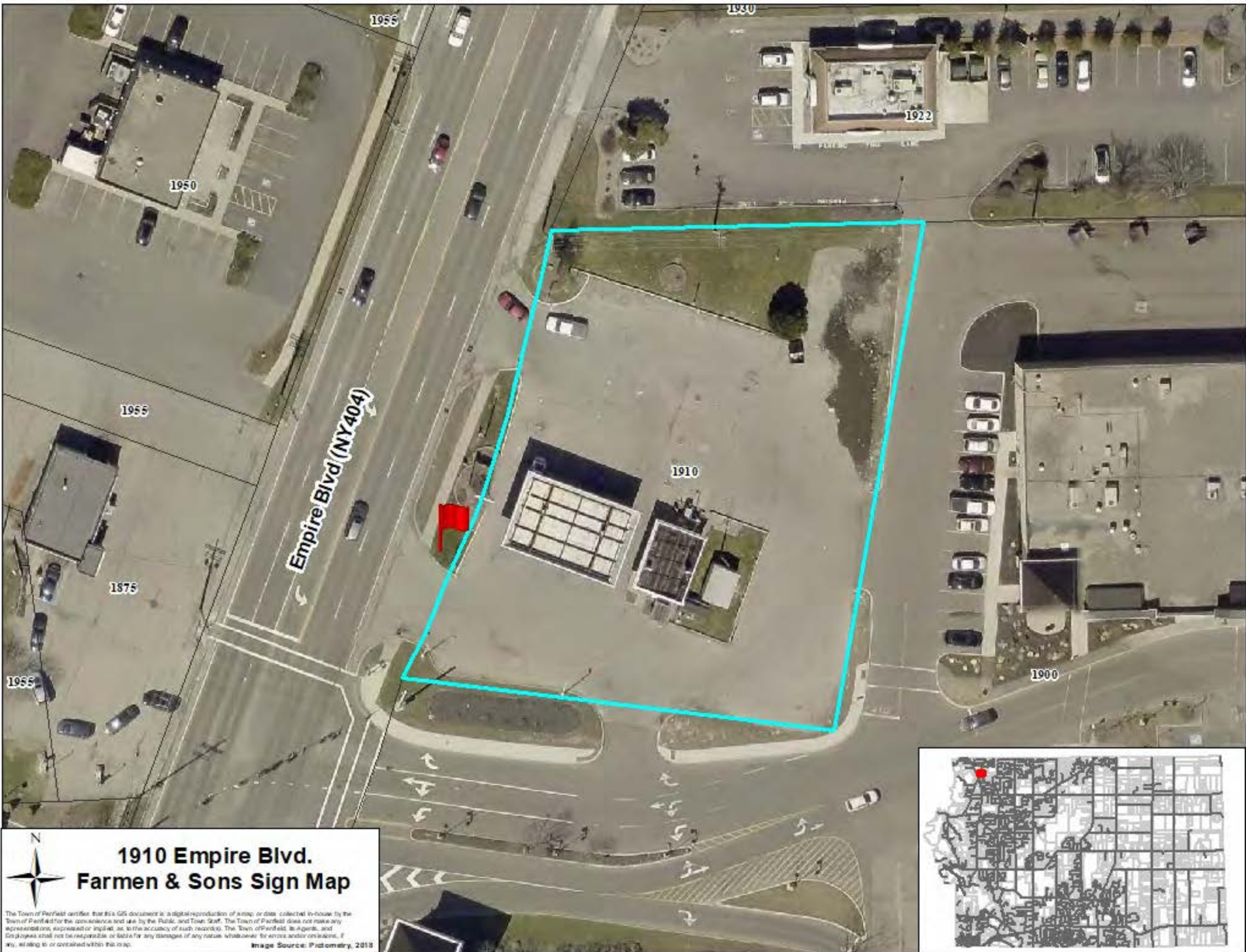
Building

- Directions
- Save
- Nearby
- Send to your phone
- Share

1910 Empire Blvd, Webster, NY 14580

Photos

SCANNED



1910 Empire Blvd. Farmen & Sons Sign Map

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ZONING BOARD OF APPEALS AGENDA

Public Hearing Application #2

Application # 22Z-0002
68 Ashlyn Rise
Theresa Fiorica

See Pages to Follow

From: Theresa Fiorica fiorica0710@outlook.com

To: Theresa Fiorica sparklequeen2016@outlook.com

Date: Wed, Dec 15, 2021, 8:30 AM

222-0002

We built our house at 68 Ashlyn Rise, for our Son, Jaden. He is now 13 years old and has cerebral palsy. He is nonverbal, cannot walk, talk or even sit up on his own. He is in a wheelchair and is 24/7 care. When we decided to build a house to fit his needs, he wanted to make sure to get a pool, not only for family fun but for swim therapy. With that we needed to make sure we had enough space out back for him to enjoy the backyard with the rest of the family. With his type of condition comes with a lot of different types of therapy which he is now able to do outside on the nice spring, summer and fall days. Our patio that started on the side of the house and continues into the backyard surrounding the pool allows us to get Jaden into the backyard and have his different swings, wheelchairs, stander etc. and feel like a normal kid who can play wheelchair basketball (which he loves and plays every year in the special Olympics with Penfield school) with his sister and cousins. With that being said, we are seeking a variance due to the fact we are encroaching the 10foot properly line rule. This has no effect on the neighborhood, the property, the neighbors on either side. Thank you for your time and being part of the Penfield community.

Thank you

Theresa Fiorica

68 Ashlyn Rise

Fairport, NY 1445

585-775-5424

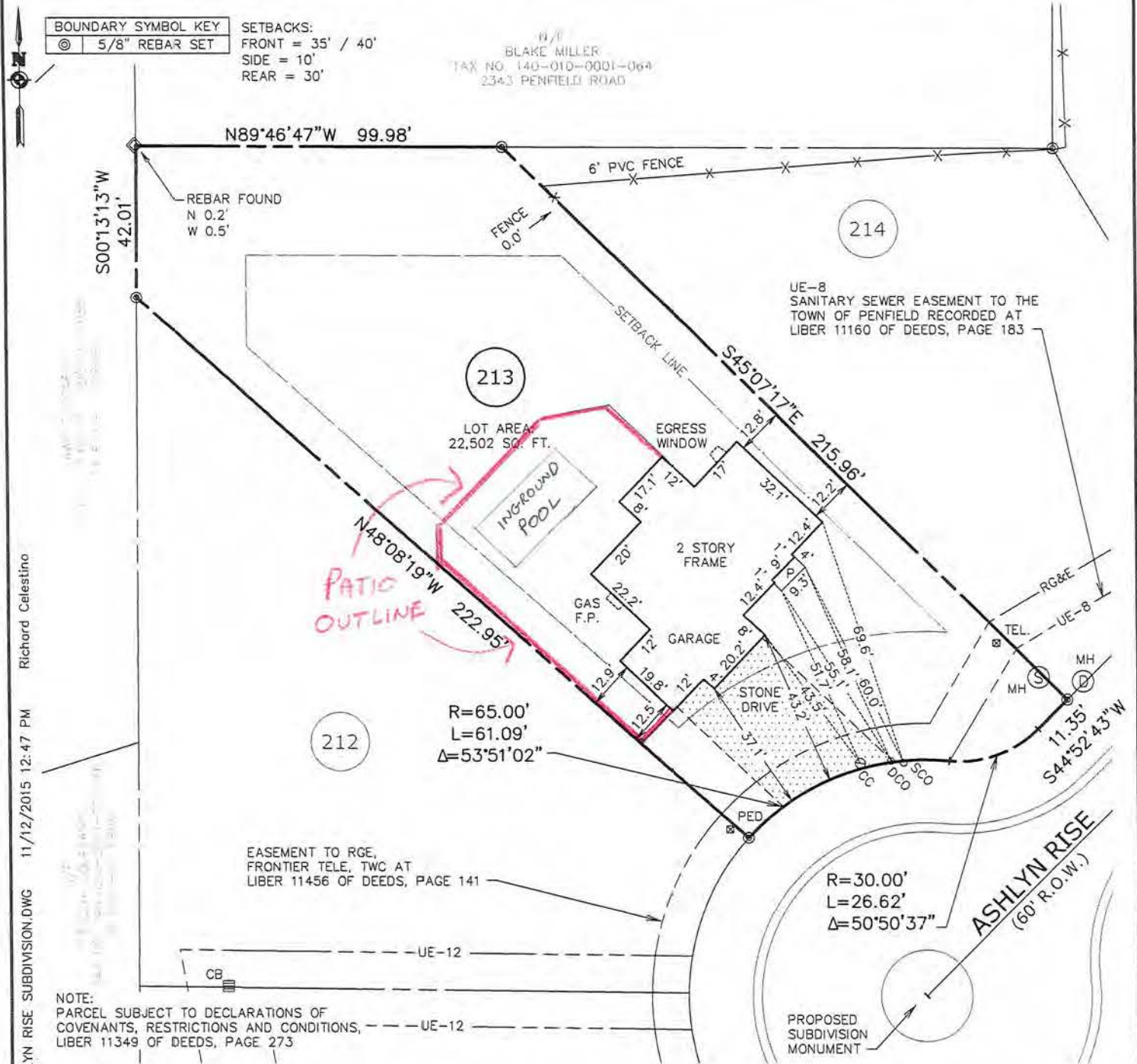
Get [Outlook for iOS](#)



SCANNED

INSTRUMENT SURVEY

Client NVR, INC.
 Street 68 ASHLYN RISE Town PENFIELD, N.Y.
 Lot No. 213 Subdivision ASHLYN RISE - PHASE TWO
 Abstract By CHICAGO TITLE INSURANCE COMPANY, SEARCH 1516-02653, DATED OCTOBER 16, 2015
 Reference Data LIBER 347 of Maps, Page 83; LIBER 11585 of Deeds, Page 351



CERTIFICATION:
 WE, PASSERO ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED USING PORTIONS OF THE REFERENCE MATERIAL AS LISTED HEREON AND FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED OCTOBER 21, 2015. THIS PARCEL IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES OF RECORD. NO CERTIFICATION IS EXTENDED TO INFORMATION NOT REFERENCED.

1. NVR INC.
2. BLOCK, LONGO & LAMARCA, P.C.
3. TITLE COMPANY INSURING THE MORTGAGE, ITS SUCCESSORS AND/OR ASSIGNS
4. NVR MORTGAGE, ITS SUCCESSORS AND/OR ASSIGNS
5. PHILIP W. FIORICA & THERESA A. FICRICA

STATE OF NEW YORK
 ROBERT A. VENTO
 ROBERT A. VENTO, N.Y.S.P.L.S. No. 049701

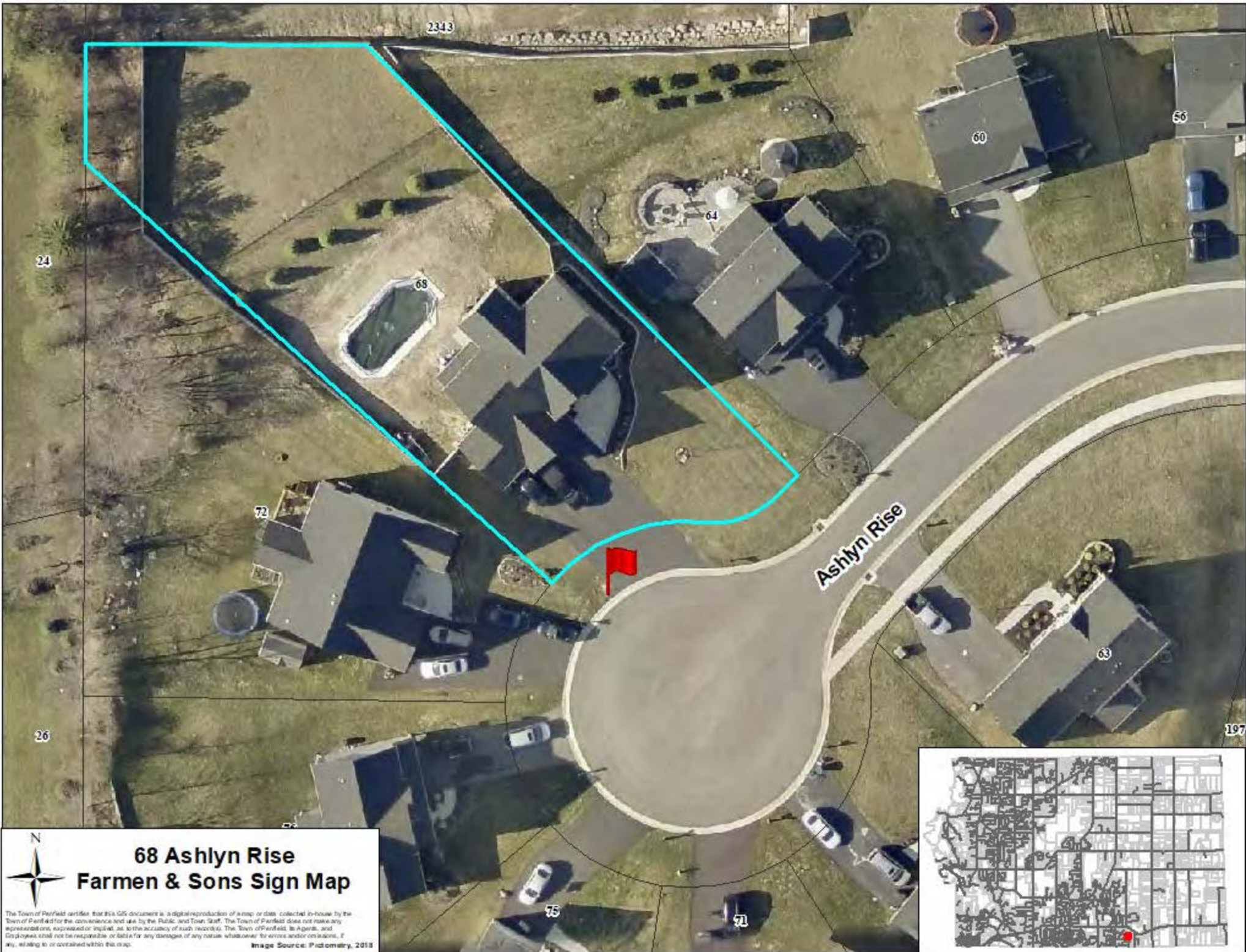
CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE AGENCIES LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 NOTE: FUTURE AFFIDAVITS OF "NO CHANGE" BASED UPON THIS MAP RELIEVE THE SURVEYOR PREPARING THIS MAP OF ANY AND ALL LIABILITY THEREAFTER. FOR UPDATING PROCEDURES CONTACT A LICENSED PROFESSIONAL LAND SURVEYOR.

Passero Associates
 242 West Main St., Suite 100, Rochester, NY 14614
 585-325-1000 FAX: 585-760-8580
 www.passero.com
 Engineering
 Architecture
 Surveying
 Planning



ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY.
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE N.Y.S. EDUCATION LAW.

Scale: 1"=40'
 Date: 11-12-2015
 PIC: John Caruso, P.E.
 PM: Rob A. Vento, PLS
 Drafted By: R.D.C.
 Project No. 20121657.0213



2343

24

68

64

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66

72

Ashlyn Rise

63

26

197



68 Ashlyn Rise Farmen & Sons Sign Map

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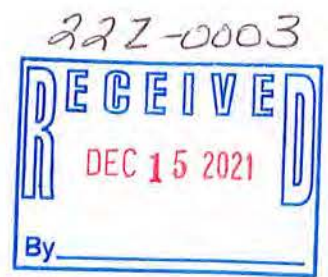


ZONING BOARD OF APPEALS AGENDA

Public Hearing Application #3

Application # 22Z-0003
14 Corral Drive
Brandon & Nicolina Belanger

See Pages to Follow



14 Corral Drive
Penfield, NY 14526

To whom it may concern,

This letter of intent is regarding a variance for a new inground pool construction of approximately 10 feet (5" on each side) from the property line. The request is due to unique plot lines, as a corner lot the property significantly converge toward the back of the lot. Each of the towns' concerns are addressed separately below:

- A. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.

This will not change the character of the neighborhood as it will not be blocking surrounding homeowners view, and it will not create any change to another's property. There are several homes in the development with both inground and above-ground pools, including the property directly behind ours.

- B. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.

After review of the property lines with the contractor, and pursuing all possible methods, there is no other feasible way to achieve the benefit sought within the current constraints.

- C. Whether the requested area variance is substantial.

The requested variance is not substantial as it is only a total of 10 feet, with 5 feet on either side of the pool.

- D. Whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district

The requested pool variance will have no adverse effect or negative impact on the physical or environmental conditions in the neighborhood or district.

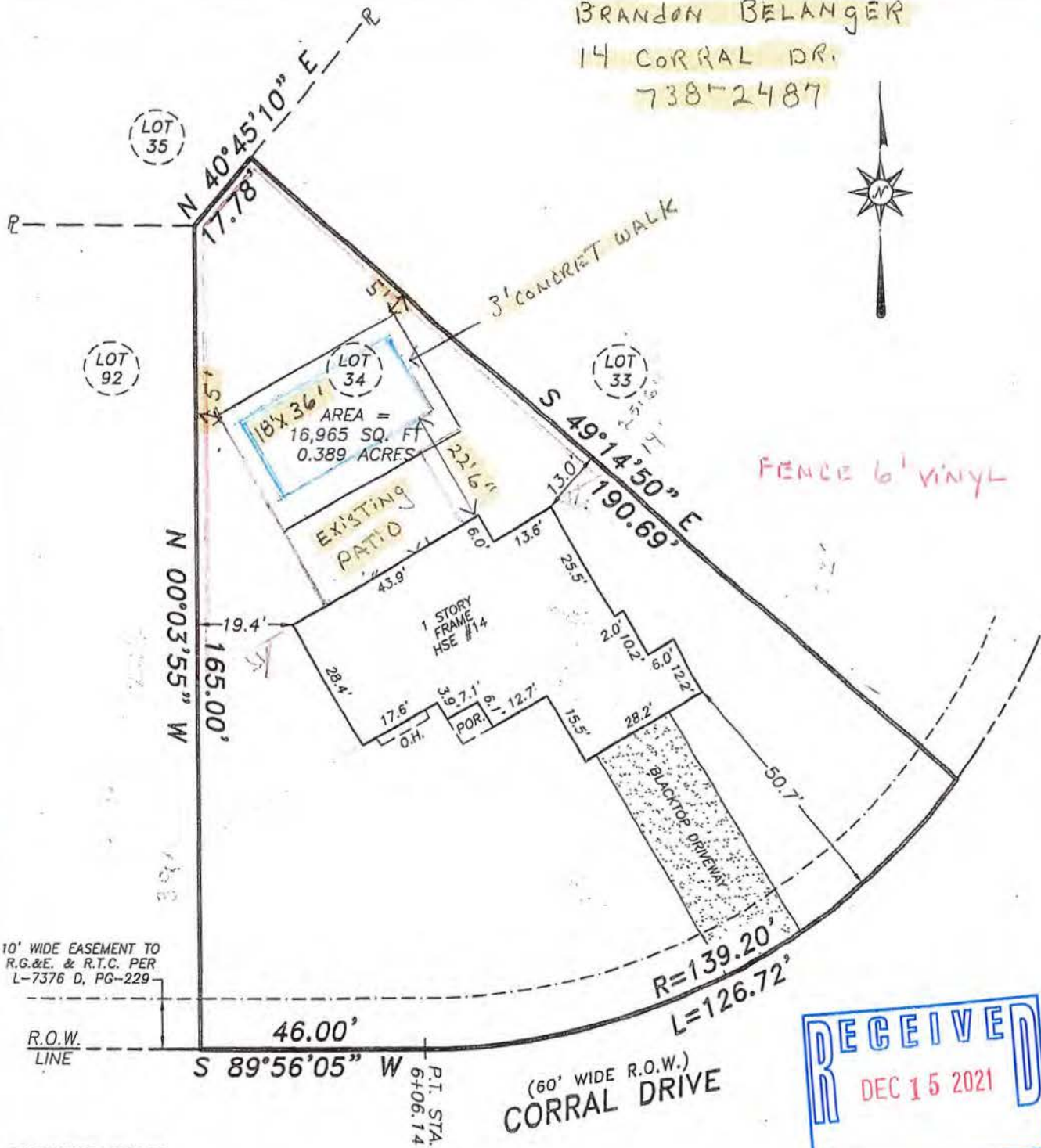
- E. Whether the alleged difficulty was self-created. (In contrast to the context of a use variance, in the context of an area variance application, whether or not the alleged difficulty was self-created shall be relevant to the decision of the Board of Zoning Appeals but a finding that the difficulty was self-created shall not in and of itself preclude the granting of the area variance.)

The constraints of the new pool construction are not self-created. This limitation is due to the unique lot design, in which the yard significantly converges with significant narrowing toward the back of the yard.

SCANNED

222-0003

BRANDON BELANGER
14 CORRAL DR.
738-2487



FENCE 6' VINYL

10' WIDE EASEMENT TO
R.G.&E. & R.T.C. PER
L-7376 D, PG-229

RECEIVED
DEC 15 2021
By _____

CERTIFICATION:

I, DAVID A. STAUB, HEREBY CERTIFY TO:

- ESL FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS
- CHICAGO TITLE INSURANCE COMPANY
- BRANDON A. BELANGER & NICOLINA A. BELANGER
- AUFSESSER & MURCH, ATTORNEYS, P.C.

THAT THIS MAP WAS MADE MARCH 14, 2019
FROM NOTES OF AN INSTRUMENT SURVEY
COMPLETED MARCH 13, 2019
AND REFERENCES LISTED HEREON.

REFERENCES:

- 1.) LIBER 252 OF MAPS, PAGE 86.
- 2.) LIBER 9561 OF DEEDS, PAGE 488.
- 3.) ABSTRACT OF TITLE No. 439397 (CROSSROADS).

SCANNED

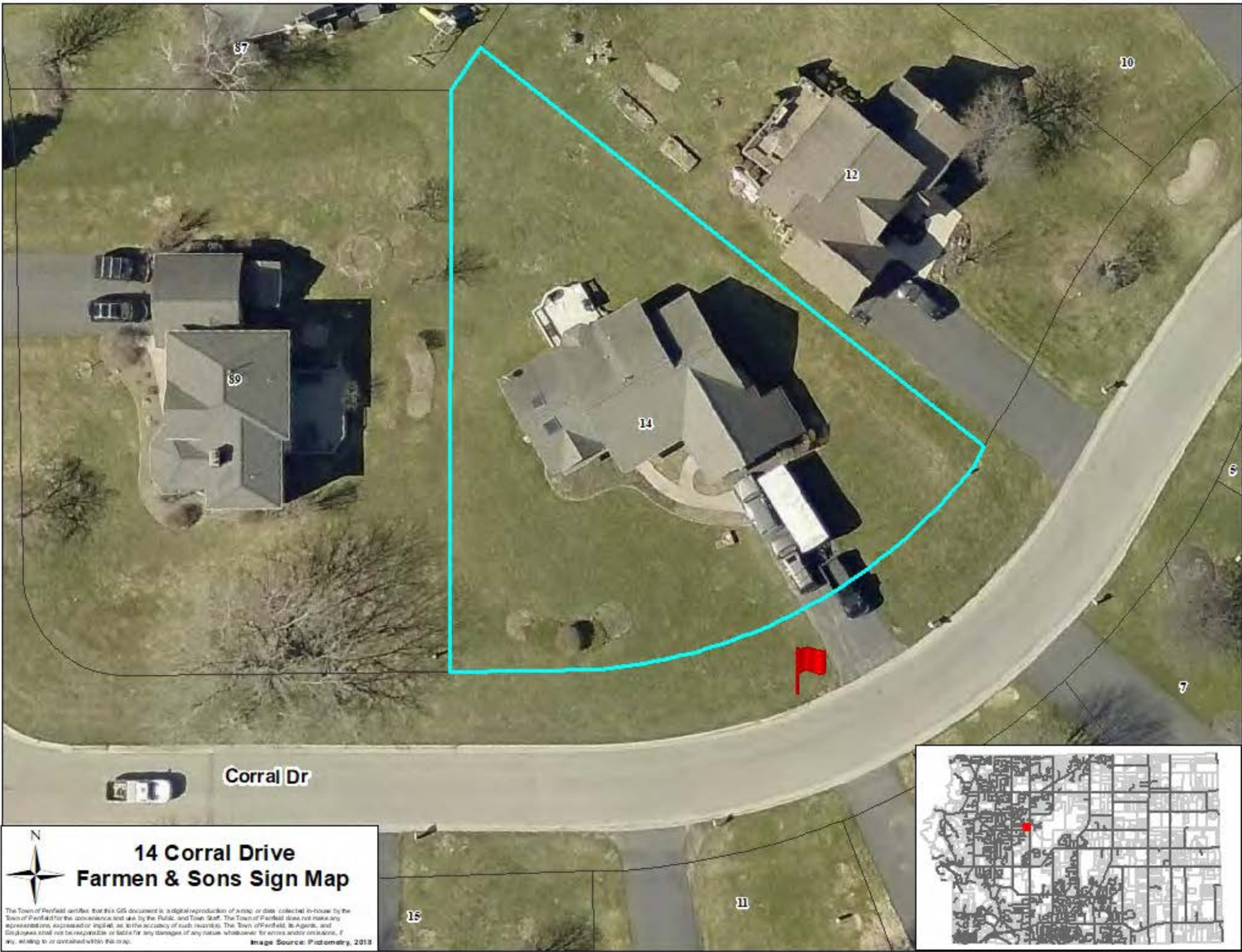
NOTES: 1.) PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD NOT REFERENCED IN ABSTRACT OF TITLE.
2.) THE USE OF THIS MAP IN CONJUNCTION WITH AN AFFIDAVIT OF NO CHANGES RELEASES THE SURVEYOR OF ALL RESPONSIBILITY

N.Y.S.P.L.S. No. 50791

DATE

TITLE:

INSTRUMENT SURVEY MAP



14 Corral Drive Farmen & Sons Sign Map

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ZONING BOARD OF APPEALS AGENDA

Public Hearing Application #4

Application # 22Z-0004
64 Maple Hill Farm Rd
Gretchen & Michael Baumer

See Pages to Follow

22Z-0004



Letter of Intent

This letter is to request a variance to build a 12'X16' shed on my rear property with less side and rear setbacks than are required. I would like the shed to be placed 4' from my east side property line and 2' from the rear property line.

1. I do not think that the setback variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The side setback variance that I am requesting is consistent with the setback variance granted to my neighbor at 40 Maple Hill Farm Rd. Having the sheds placed near each other will have a consistent look for both of our properties and allow us to maintain a green screen between them. The rear setback of 2' from the property line that I am requesting will also not effect any of neighbors behind my property. Currently the neighbor directly behind the proposed shed location has a fence screening the view of my property. Also the town maintained green space behind our properties creates a buffer far greater than the 20' that would be allowed per code between adjacent properties structures.
2. The location of the tree on my rear property and relatively small lot size limit my choices for shed placement. Keeping the shed to the rear of the property allows me to maintain space in my yard for my children to continue to utilize the space for sports.
3. The request is not substantial based on the distance between rear property lines in our neighborhood.
4. I do not think the variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood.
5. I do not believe the difficulty was self created. The large Maple tree in the rear of my property that is driving the sheds proposed location was planted before I purchased the property.

Thank you for your consideration,
Michael Baumer

A handwritten signature in black ink, appearing to read "Michael Baumer". The signature is fluid and cursive, with a long horizontal stroke at the end.

SCANNED

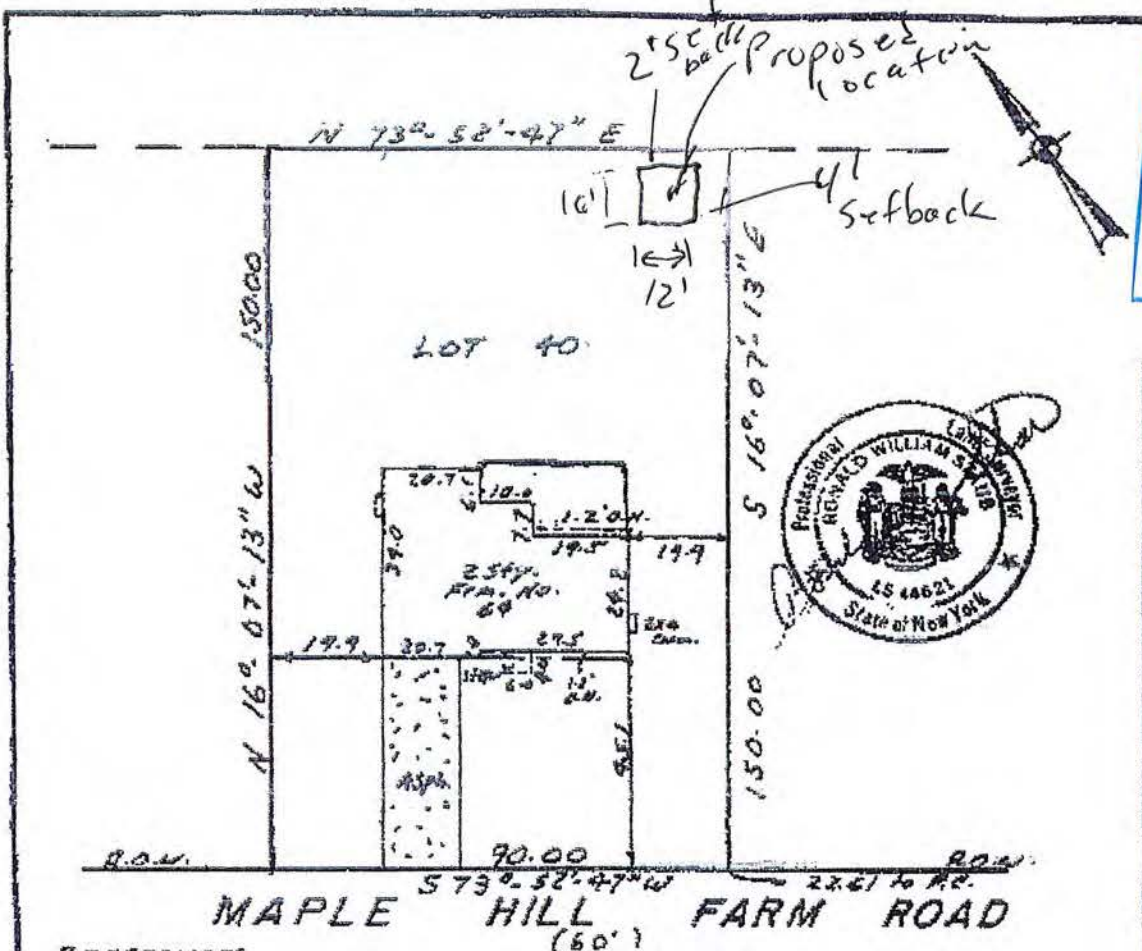
22Z-0004

RECEIVED
DEC 15 2021
By _____



SCANNED

222-0004
RECEIVED
DEC 15 2021
By _____



REFERENCES

- 1) Abstract No. 35329 (Public)
- 2) Liber 185 of Maps Page 89
- 3) Liber 9829 of Deeds Page 483
- 4) Instrument Survey by Warren R. McGill 5-14-02
- 5) Uniform Plan of Restrictions Liber 4292 Page 60, Liber 4257 of Deeds page 108
- 6) Easement to R. S. & G. A. T. C. Liber 4283 of Deeds Page 12' (20' wide along rear)

CERTIFICATION:

I hereby certify to:
1) Michael P. Baumer and Gretchen L. Baumer
2) Countryside Home Loans, Inc, its successors and/or assigns
3) New York Title Agency Services, Inc.
4) The Title Insurance Company insuring the Mortgage
that this map was made Dec. 31, 2003 by William H. Walker, Jr. Esq. from notes of an Instrument Survey completed Dec. 30, 2003 and references listed above:

Ronald W. Sells 44621

TITLE: INSTRUMENT SURVEY MAP

SCANNED



64 Maple Hill Farm Rd Farmen & Sons Sign Map

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ZONING BOARD OF APPEALS AGENDA

Public Hearing Application #5

Application # 22Z-0005
3825 Atlantic Avenue
David Garritano

See Pages to Follow

David Garritano
3825 Atlantic Ave
Fairport, NY 14450



222-0005

Town of Penfield
3100 Atlantic Ave
Penfield, NY 14526

I am writing this letter of intent to request a variance for the detached garage that we are proposing to build. The property currently consists of a single-family home with a small barn and no garage. We are proposing the garage to be 32X40 with an 8x40 open porch along the side. The existing home is 1039 sq ft. We are on 3 acres of property so there is ample room to construct the proposed garage without infringing on any setbacks or neighbors.

The garage will be used to store our personal vehicles and a camper. This will allow us to keep our personal belongings secure and keep the property neat.

Our area is very rural with farmland and barns on neighboring properties. With the layout of our existing home and the proposed design of this garage, we feel this will not only provide us with the space we need to store our belongings, but it will be aesthetically pleasing and add to the appeal of the property and surroundings.

Thank you for your time and consideration.

David Garritano

SCANNED

LIBER 8167 OF DEEDS, PAGE 57
TAX ACCT. #111.03-1-17

(542.00' TO CENTERLINE)
S 01°26'36" E

AREA:
3.011 Acres
(TO CENTERLINE)
TAX ACCT. #111.03-1-16

Sheds are no longer existing

32x40

10' WIDE WATER MAIN
EASEMENT TO THE TOWN
OF PENFIELD, PER LIBER
9030 OF DEEDS, PAGE 406

FRAME
2-STY.
HSE. #3825

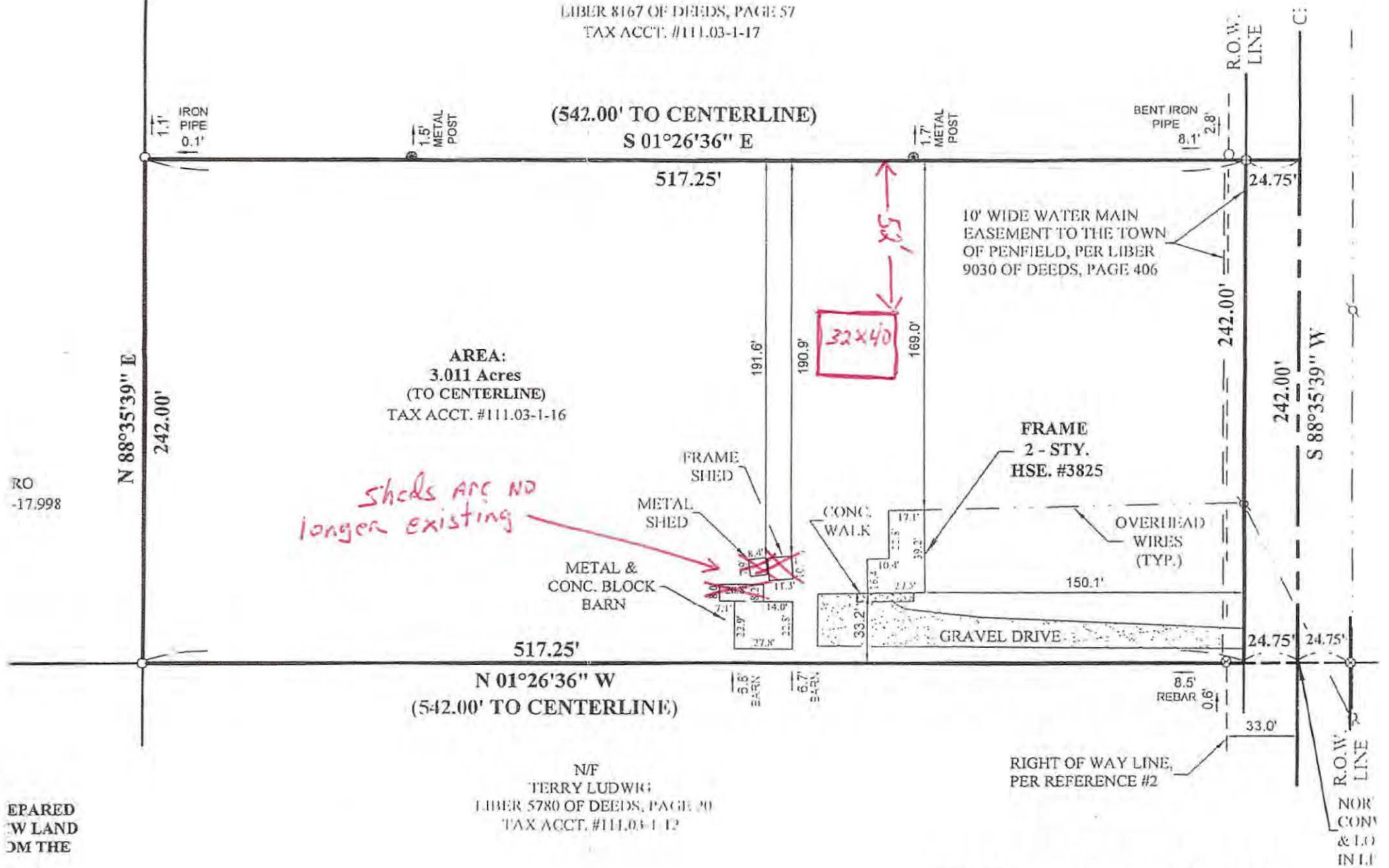
517.25'
N 01°26'36" W
(542.00' TO CENTERLINE)

N/F
TERRY LUDWIG
LIBER 5780 OF DEEDS, PAGE 20
TAX ACCT. #111.03-1-12

RIGHT OF WAY LINE,
PER REFERENCE #2

SURVEY MAP OF: #3825 ATLANTIC AVENUE

BEING IN PART OF THE SOUTHWEST DIVISION OF TOWN LOT #5, TO
SITUATE IN



RO
-17.998

EPARED
W LAND
OM THE

NOR
CON
& 1.0
IN L

RESIDENTIAL GARAGE - POLE STYLE CONSTRUCTION

32' x 40' x 14' BUILDING WITH 8' x 40' COVERED PORCH

DRAWING TABLE of CONTENTS	
PAGE #	PAGE CONTENTS
A-1.1	ELEVATION VIEWS
A-1.12	ELEVATION VIEWS
A-1.2	FLOOR PLAN
A-1.3	POST LOCATION PLAN
A-1.4	ROOF FRAMING PLAN
A-1.5	SECTION DETAILS
A-1.6	DESIGN NOTES AND MISCELLANEOUS DETAILS

SITE LOCATION

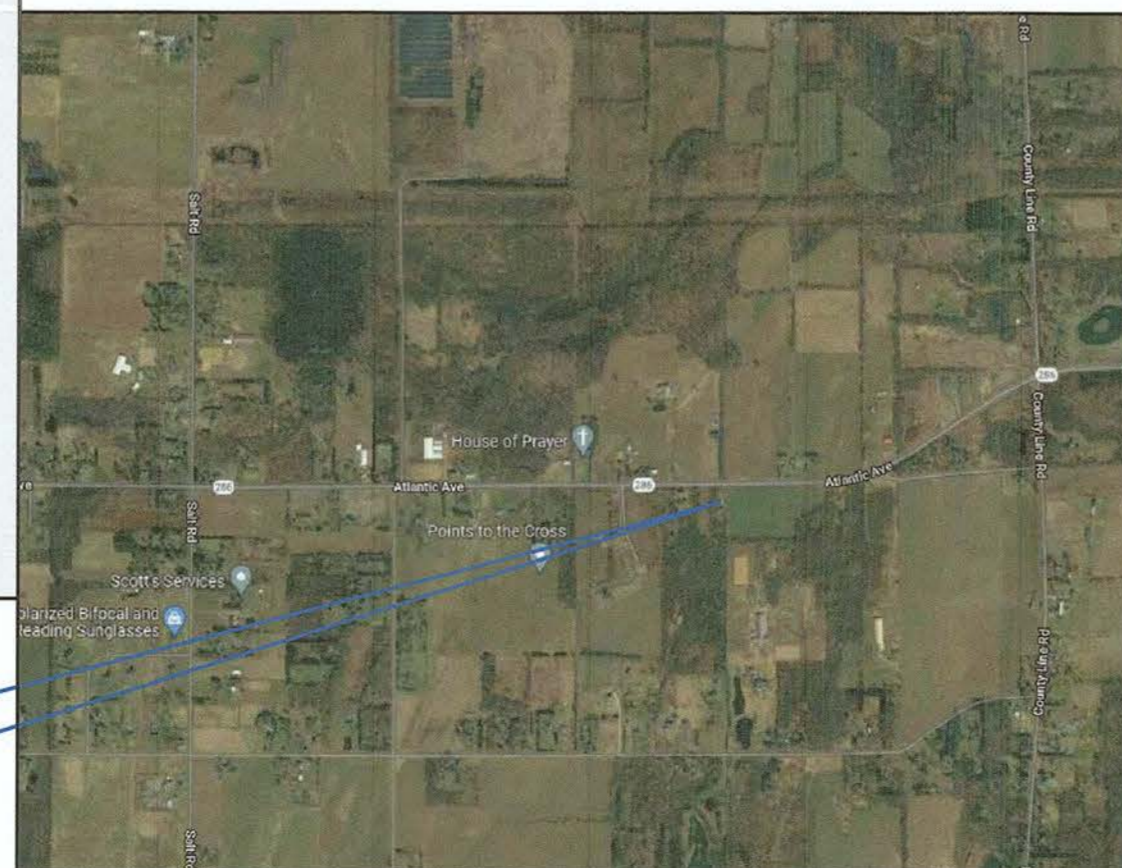
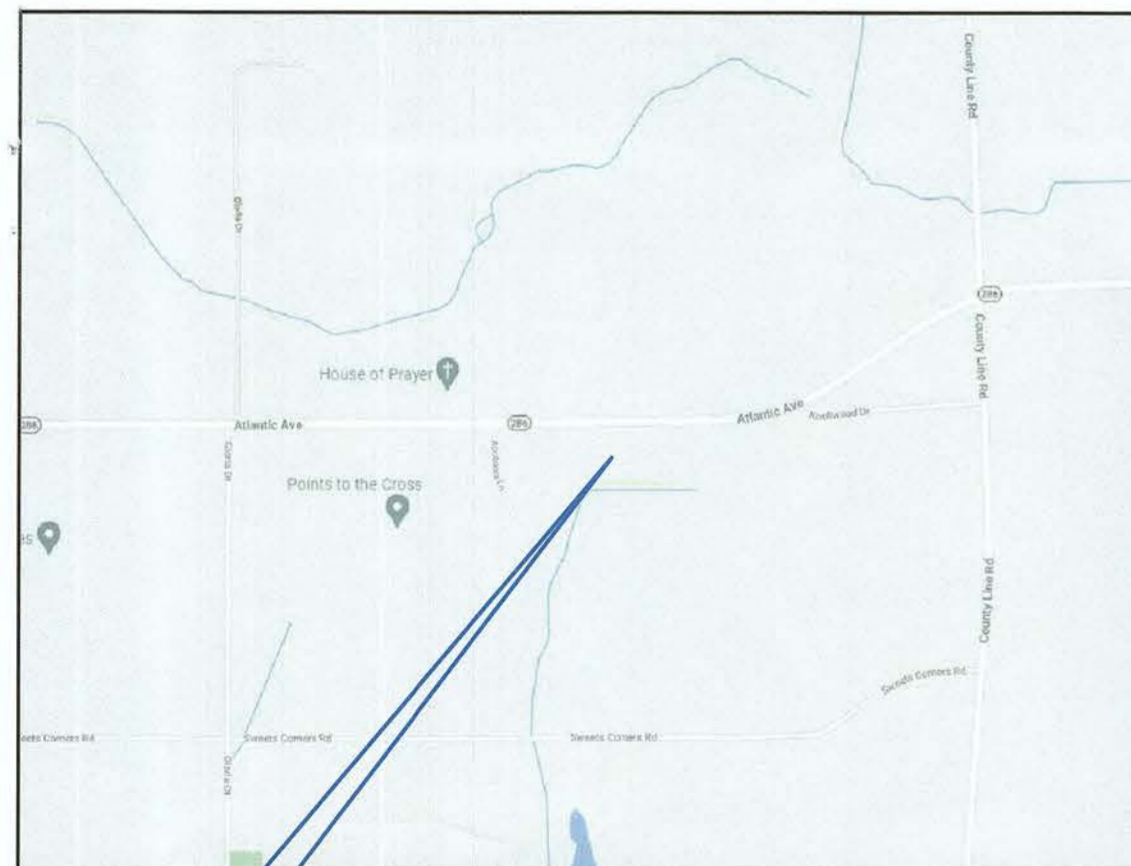
TERESA JOHNSTON

3825 ATLANTIC AVE
FAIRPORT NY 14450
(T) W. WALWORTH - MONROE COUNTY



SCANNED
218-1039

STRUCTURAL AND CODE INFORMATION	
ROOF SLOW LOAD	
FIGURE 1608.2 GROUND SNOW LOAD (psf) (Pg)	50
ELEVATION ABOVE SEA LEVEL	525
FLAT ROOF SNOW LOAD (psf) (Pf)	44
SLOPED ROOF SNOW LOAD (psf) (Ps)	44
SNOW EXPOSURE FACTOR	1
SNOW LOAD IMPORTANCE FACTOR	1
THERMAL FACTOR	1.2000
SLOPE FACTOR	1
WIND LOAD	
BASIC WIND SPEED	115 MPH
WIND IMPORTANCE FACTOR	1
INTERNAL PRESSURE COEFFICIENT	+/- .18
EXPOSURE CATERGORY	
SEC 6 OF ASCE VELOCITY PRESSURE (P)	13.24 LB/FT ²
OTHER LOADINGS	
TRUSS/RAFTER TC DEAD LOADS (PSF)	5
TRUSS/RAFTER BC DEAD LOADS (PSF)	5
SECOND FLOOR DESIGN LIVE LOAD (PSF)	-
SECOND FLOOR DESIGN DEAD LOAD (PSF)	-
SOIL TYPE	-
ASSUMED SOIL BRG CAPACITY (OSF)	1500 PSF
CLASSIFICATION	
CHPT 3 BUILDING OCCUPANCY	STORAGE S2
CHPT 6 CONSTRUCTION TYPE \	5B



PROJECT SITE

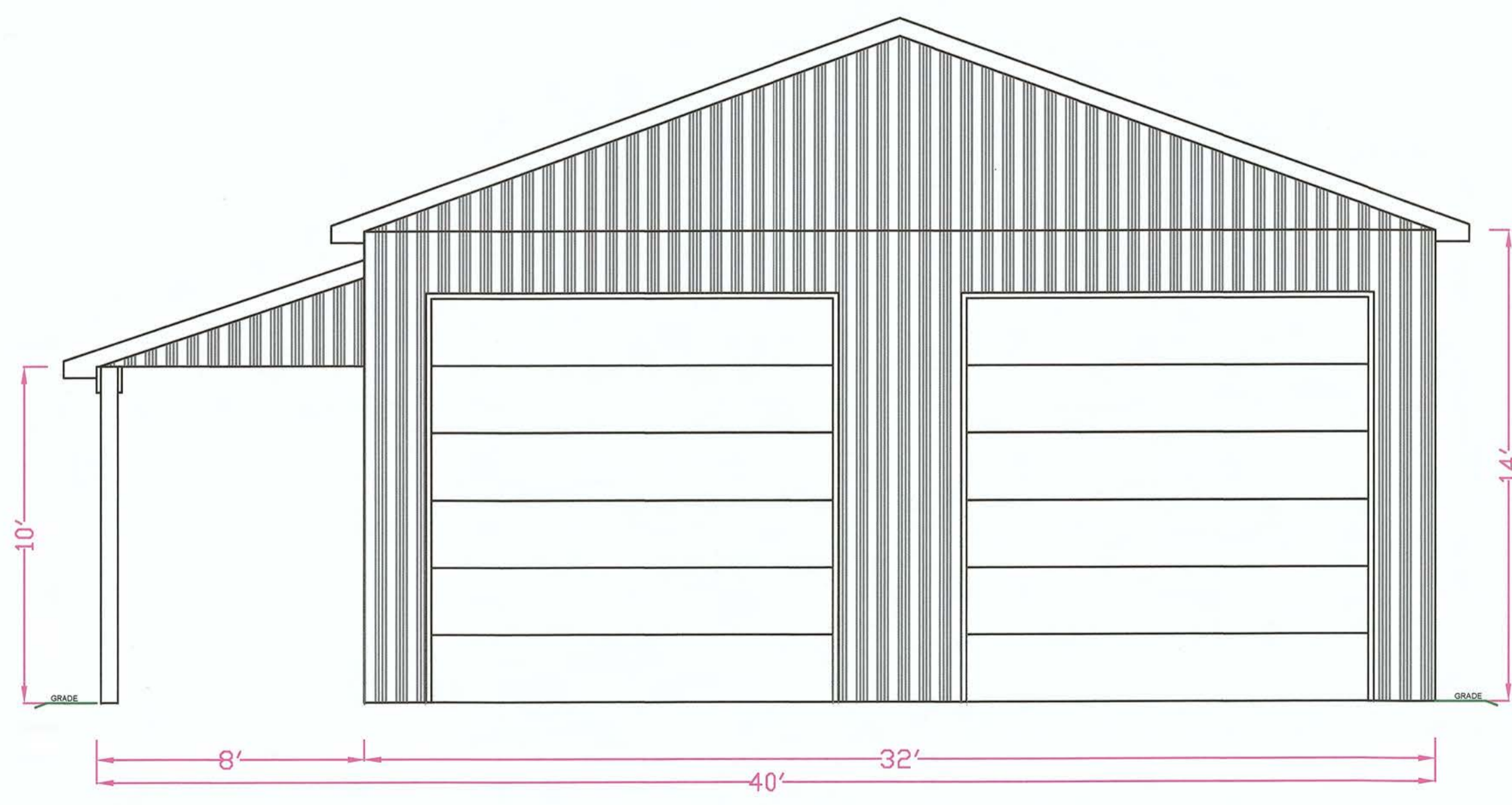
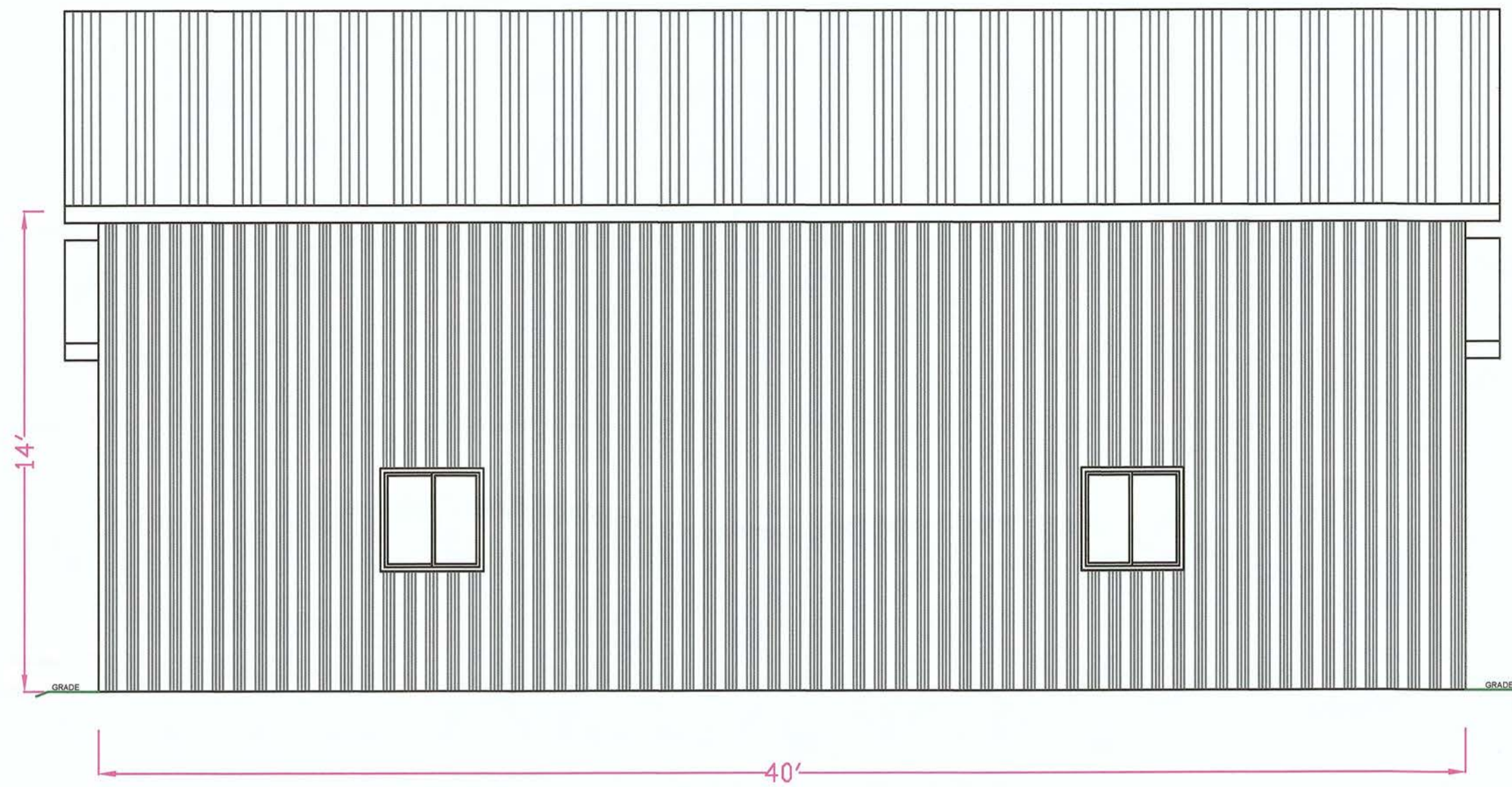
REVISIONS		
0	12/9/2021	FOR APPROVAL

DRAWN BY:	D. W.
CHECKED BY:	D. W.
SEALED BY:	N/A

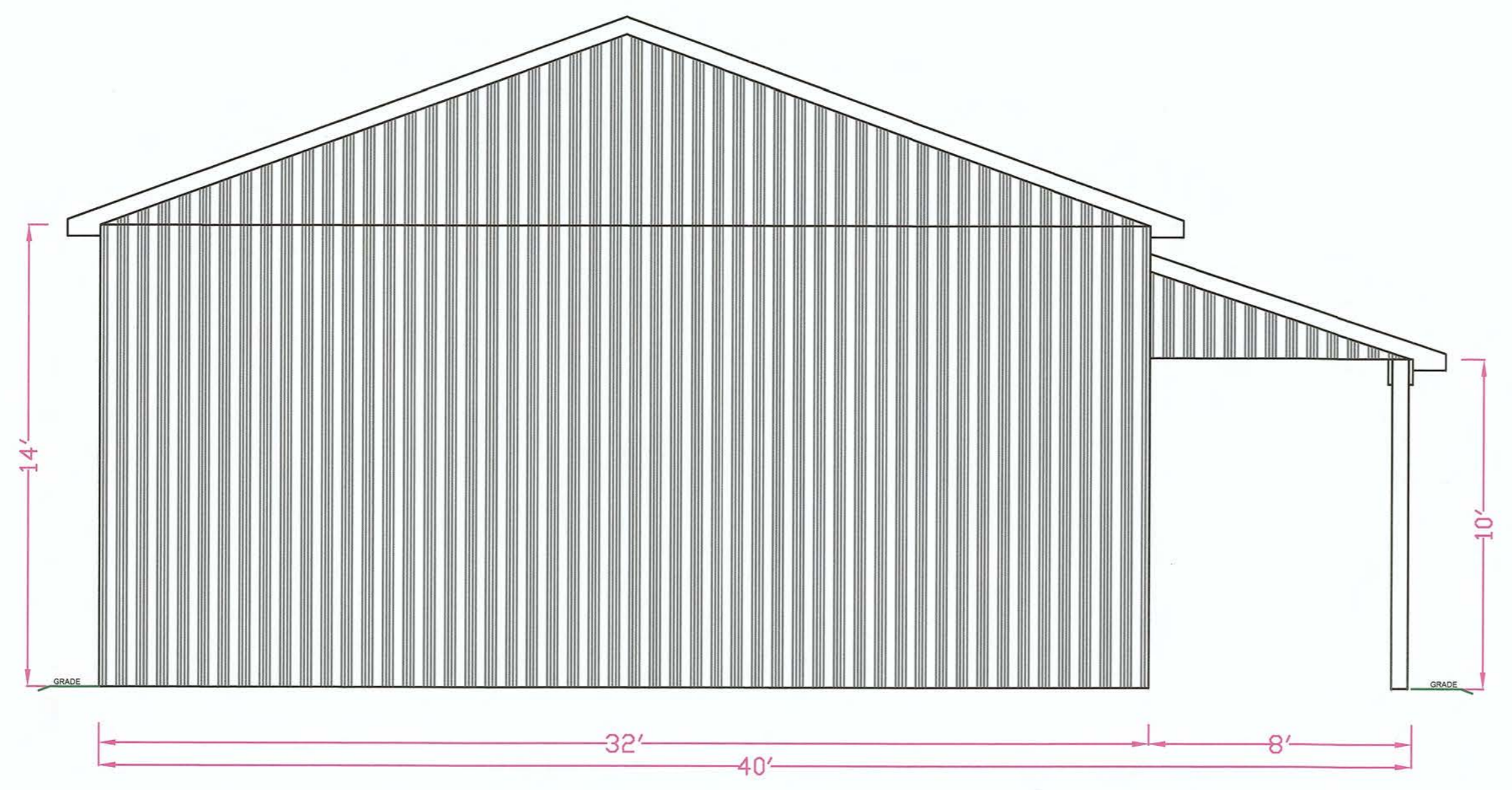
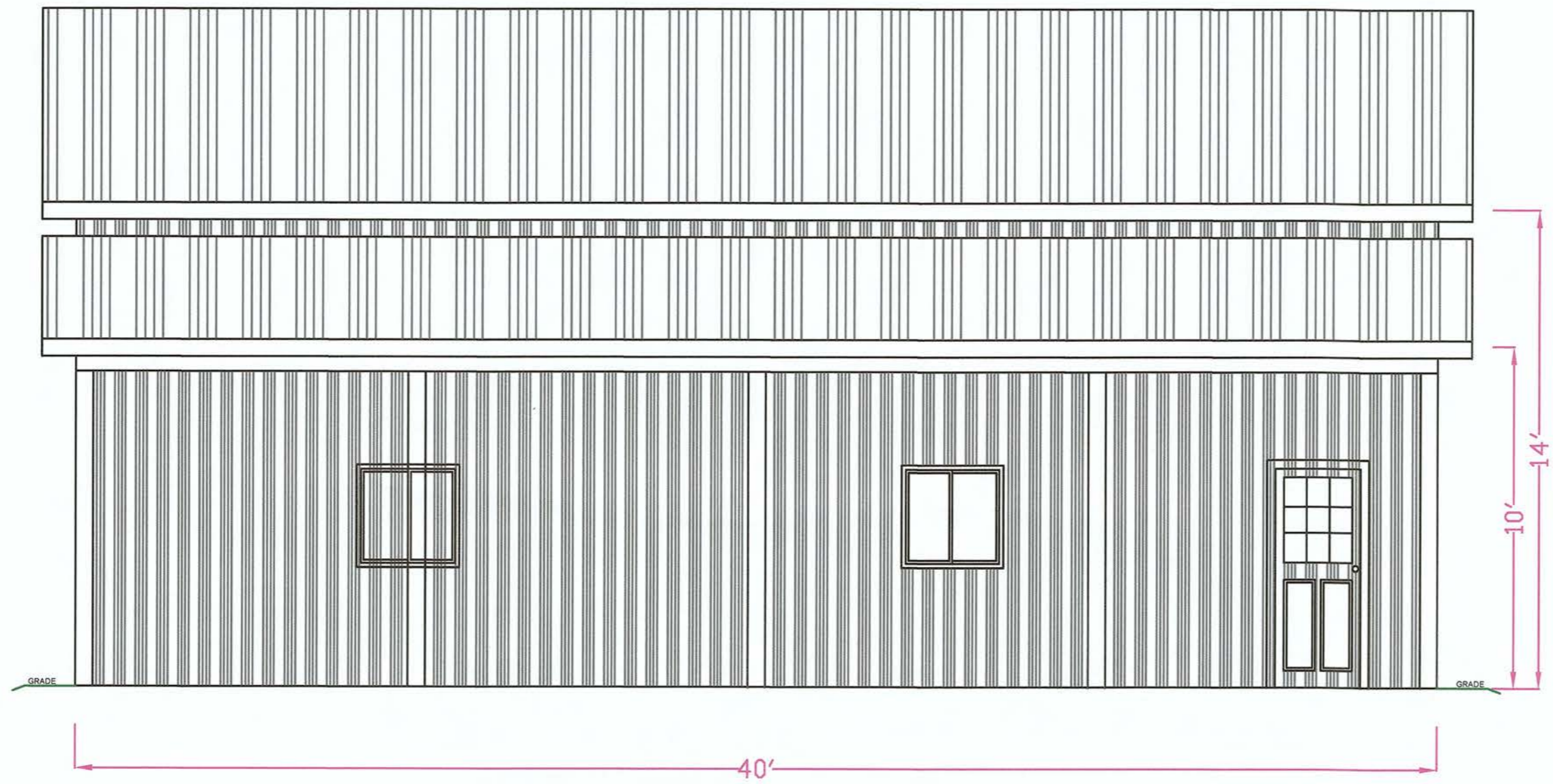
PREPARED BY:
DELMAR WISE
PHONE: 315-651-9640
EMAIL: delwise96@gmail.com
6500 LOG CITY RD OVID, NY 14521



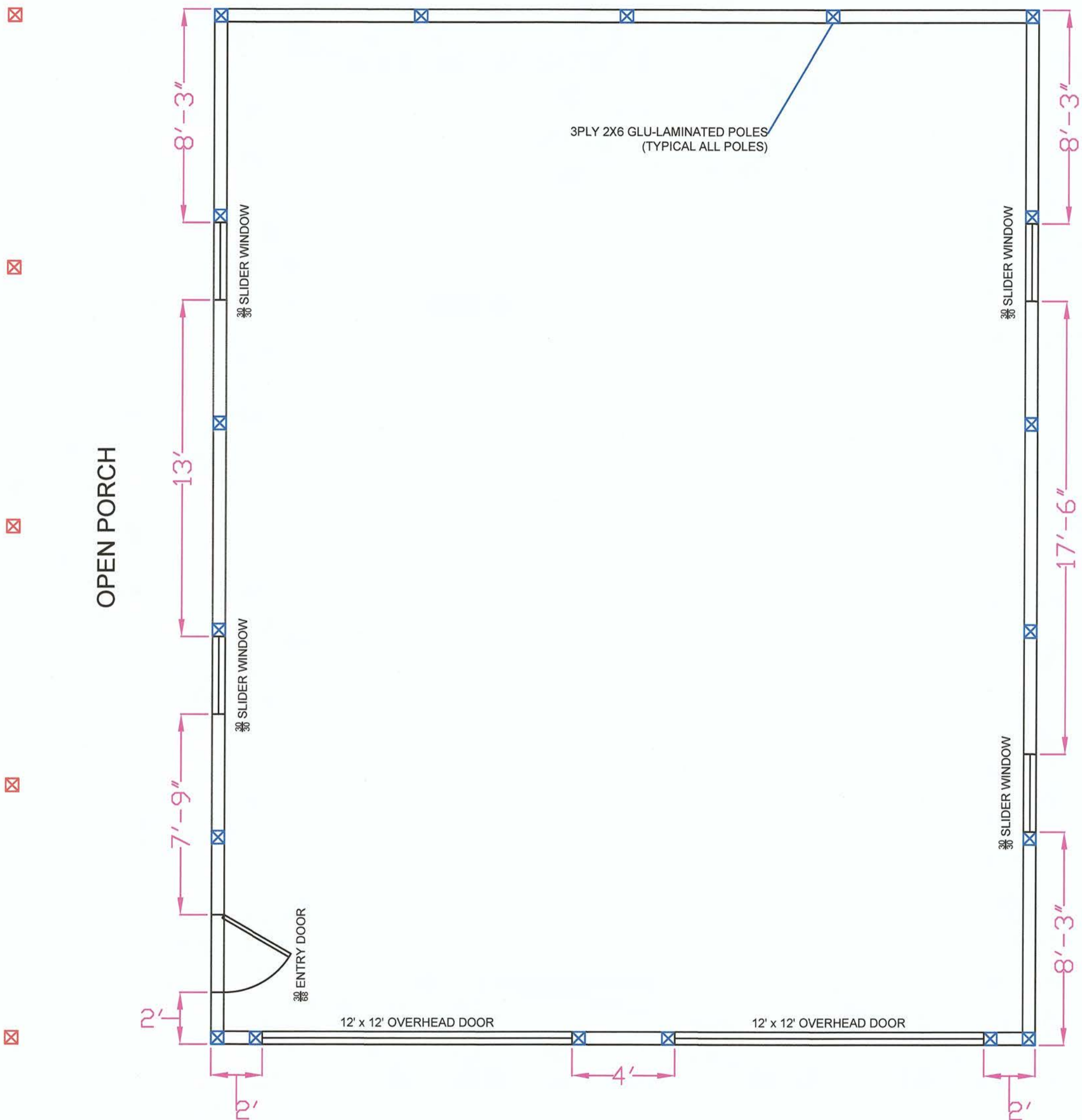
**CALL DIG SAFELY
NEW YORK AT
LEAST 48 HOURS
BEFORE DIGGING
OR DRILLING
@ 811**



TERESA JOHNSTON		
3825 ATLANTIC AVE FAIRPORT NY 14450 (T) W. WALWORTH - MONROE COUNTY		
ELEVATION VIEWS		
DRAWING A - 1.1	DATE 12/9/2021	SCALE: 3/16"=1'0"
PREPARED BY: DELMAR WISE P: 315-651-9640 E: delwise96@gmail.com 6500 LOG CITY RD; OVID, NY 14521		
<small>DISCLAIMER: THESE DRAWINGS WERE NOT PRODUCED BY A LICENSED ENGINEER, AND ARE FOR DRAFTING PURPOSES ONLY. UNLESS ACCOMPANIED BY THE SEAL OF AN ENGINEER LICENSED IN THE STATE OF NEW YORK. COPYRIGHT BY MIDLAKES SALES.</small>		<small>CONTRACTOR TO CONFIRM ALL POST, DOOR, AND WINDOW LOCATIONS WITH HOMEOWNER PRIOR TO CONSTRUCTION.</small>



TERESA JOHNSTON		
3825 ATLANTIC AVE FAIRPORT NY 14450 (T) W. WALWORTH - MONROE COUNTY		
ELEVATION VIEWS		
DRAWING A - 1.12	DATE 12/9/2021	SCALE: 3/16"=1'0"
PREPARED BY: DELMAR WISE P: 315-651-9640 E: delwise96@gmail.com 6500 LOG CITY RD; OVID, NY 14521		
DISCLAIMER: THESE DRAWINGS WERE NOT PRODUCED BY A LICENSED ENGINEER, AND ARE FOR DRAFTING PURPOSES ONLY. UNLESS ACCOMPANIED BY THE SEAL OF AN ENGINEER LICENSED IN THE STATE OF NEW YORK. COPYRIGHT BY MIDLAKES SALES.		CONTRACTOR TO CONFIRM ALL POST, DOOR, AND WINDOW LOCATIONS WITH HOMEOWNER PRIOR TO CONSTRUCTION.



OPEN PORCH

3PLY 2X6 GLU-LAMINATED POLES
(TYPICAL ALL POLES)

SLIDER WINDOW

SLIDER WINDOW

ENTRY DOOR

12' x 12' OVERHEAD DOOR

12' x 12' OVERHEAD DOOR

SLIDER WINDOW

SLIDER WINDOW

TERESA JOHNSTON
3825 ATLANTIC AVE
FAIRPORT NY 14450
(T) W. WALWORTH - MONROE COUNTY

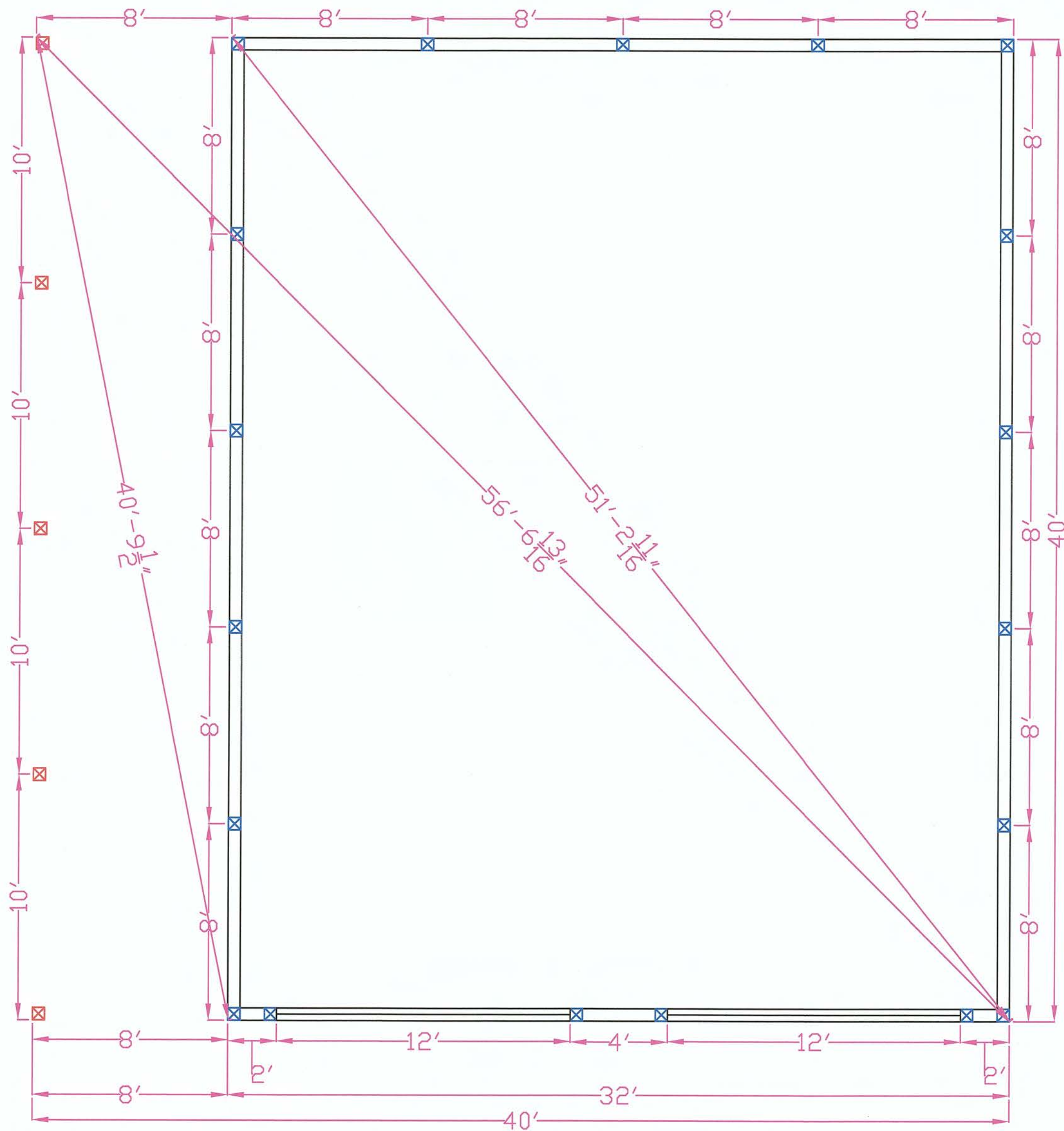
FLOOR PLAN

DRAWING A - 1.2	DATE 12/9/2021	SCALE: 3/16"=1'0"
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CONFIRM ALL POST,
DOOR, AND WINDOW
LOCATIONS WITH
HOMEOWNER PRIOR
TO CONSTRUCTION.

PREPARED BY:
DELMAR WISE
P: 315-651-9640 E: delwise96@gmail.com
6500 LOG CITY RD; OVID, NY 14521



TERESA JOHNSTON 3825 ATLANTIC AVE FAIRPORT NY 14450 (T) W. WALWORTH - MONROE COUNTY		
POST LOCATION PLAN		
DRAWING A - 1.3	DATE 12/9/2021	SCALE: 3/16"=1'0"
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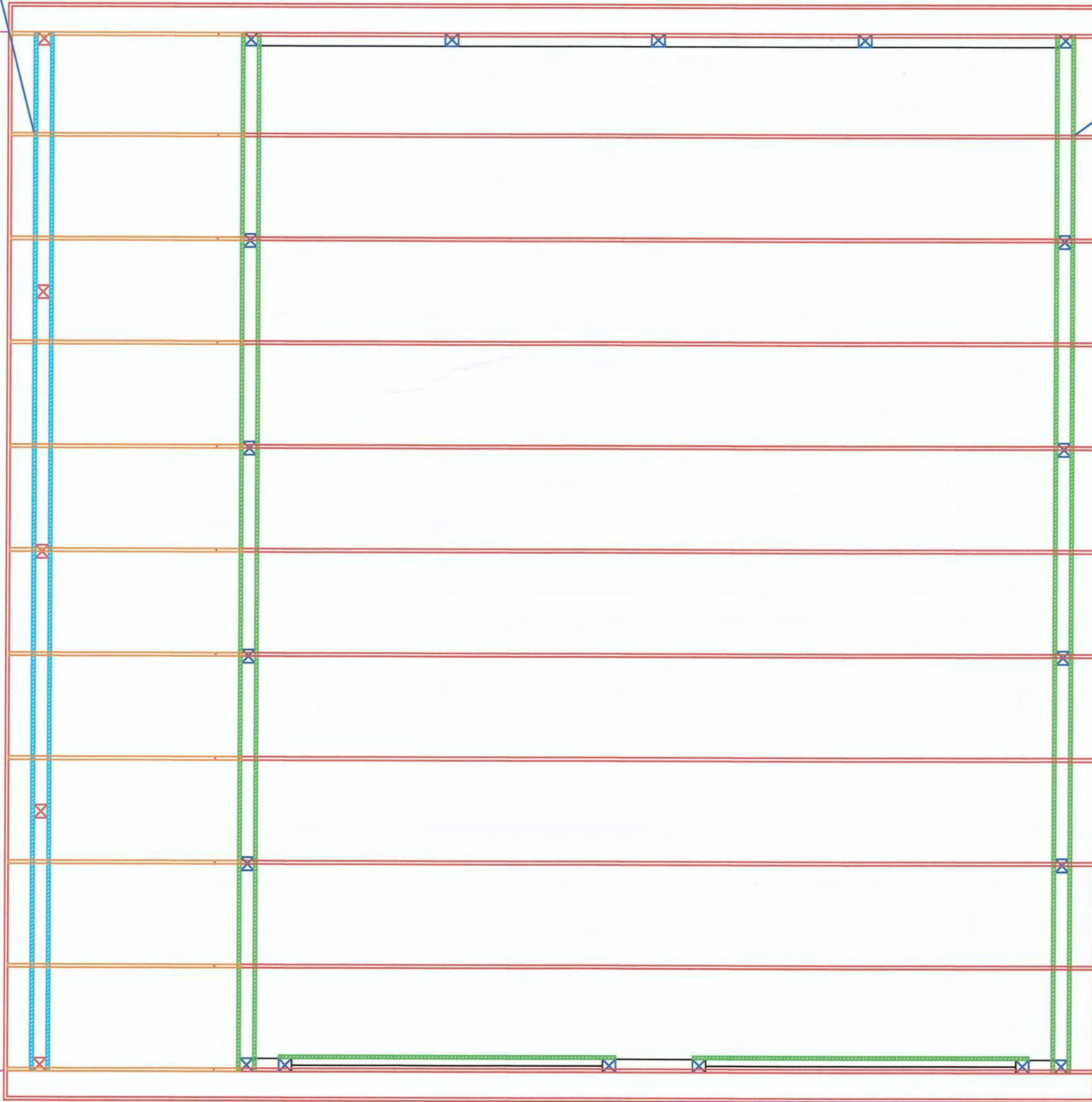
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 TO CONSTRUCTION.

(2) 2X10 TRUSS CARRIERS
(REFER TO DETAIL ON A1.6)

(2) 2X12 TRUSS CARRIERS
(REFER TO DETAIL ON A1.6)

PRE-ENGINEERED WOOD ROOF TRUSSES - MONO STYLE
48" O.C. - 10.5" TAIL - 4/12 TC PITCH - FLAT BC

PRE-ENGINEERED WOOD ROOF TRUSSES
48" O.C. - 10.5" TAILS - 4/12 TC PITCH - FLAT BC



TERESA JOHNSTON
3825 ATLANTIC AVE
FAIRPORT NY 14450
(T) W. WALWORTH - MONROE COUNTY

ROOF FRAMING PLAN

DRAWING A - 1.4	DATE 12/9/2021	SCALE: 3/16"=1'0"
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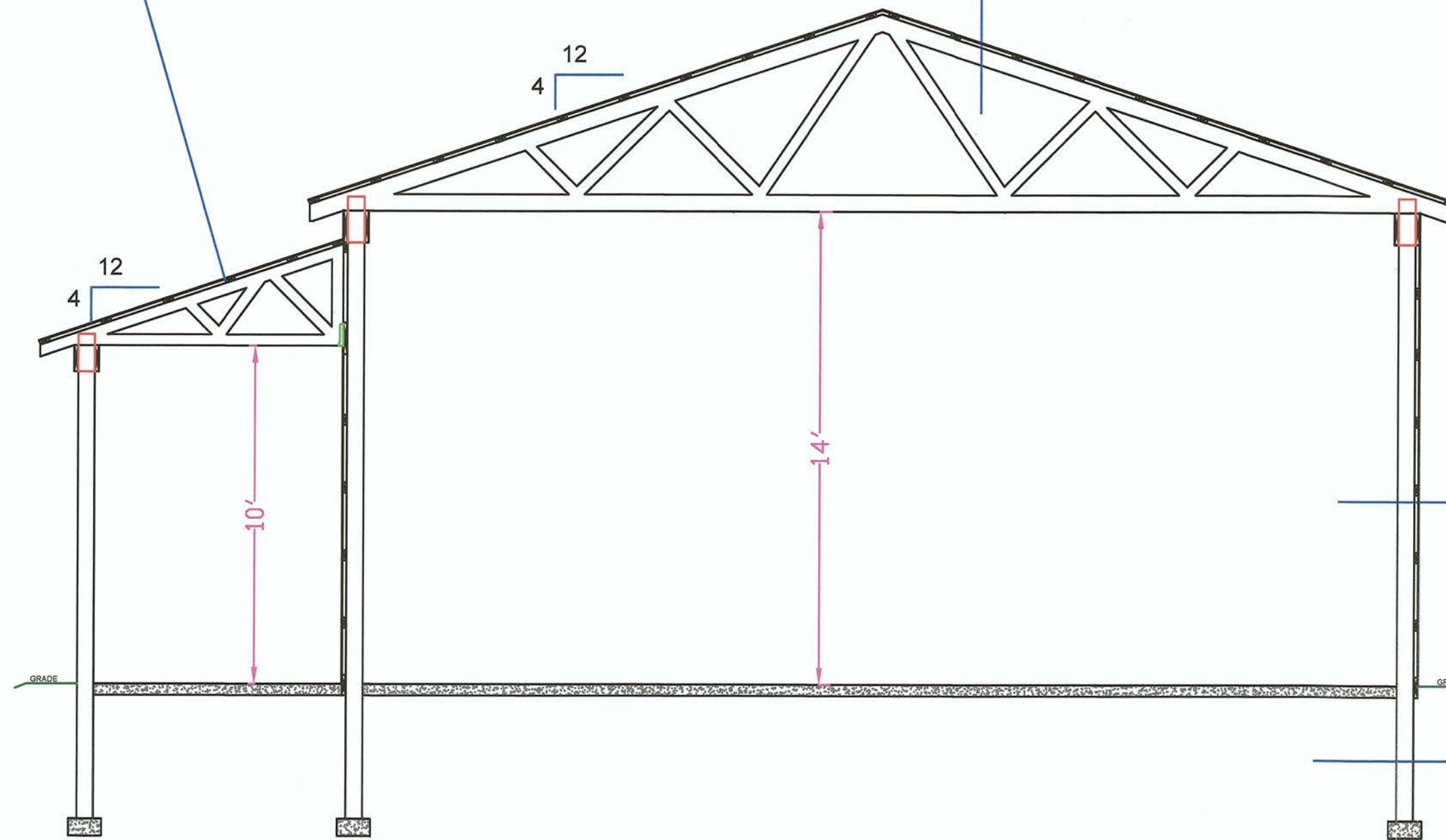
PREPARED BY:
DELMAR WISE
P: 315-651-9640 E: delwise96@gmail.com
6500 LOG CITY RD; OVID, NY 14521

TYPICAL ROOF CONSTRUCTION

RIDGE- VENTED RIDGE
ROOF- PAINTED METAL ROOF (CONFIRM STYLE AND COLOR WITH HOMEOWNER)
TRUSS- PRE-ENGINEERED WOOD TRUSS @ 48" O.C. MAX WITH 2X4 PURLINS AT 24" O.C. MAX
TRUSS TIES- HURRICANE TIES FOR ALL TRUSSES (2X6 BLOCK)
CEILING- PAINTED METAL OR VINYL SOFFIT

TYPICAL ROOF CONSTRUCTION

RIDGE- VENTED RIDGE
ROOF- PAINTED METAL ROOF (CONFIRM STYLE AND COLOR WITH HOMEOWNER)
TRUSS- PRE-ENGINEERED WOOD TRUSS @ 48" O.C. MAX WITH 2X4 PURLINS AT 24" O.C. MAX
TRUSS TIES- HURRICANE TIES FOR ALL TRUSSES (2X6 BLOCK)



TYPICAL WALL CONSTRUCTION

POSTS- 3PLY 2X6 GLU-LAMINATED POSTS
PURLINS- 2X4 PURLINS 24" ON CENTER
BOTTOM BOARD- 2X8 PRESSURE TREATED
HEADER- 2-2X12, (SEE DRAWING ON A1.6)
EXTERIOR- PAINTED METAL SIDING (CONFIRM STYLE AND COLOR WITH HOMEOWNER)

FOOTER AND FLOOR CONSTRUCTION

POSTS: 6' TREATED ON THE BOTTOM
FOOTER: 6"X12" CONCRETE FOOTER WITH 60lb SAKRETE
FLOOR: COMPACTED GRAVEL AND/OR CONCRETE

TERESA JOHNSTON
 3825 ATLANTIC AVE
 FAIRPORT NY 14450
 (T) W. WALWORTH - MONROE COUNTY

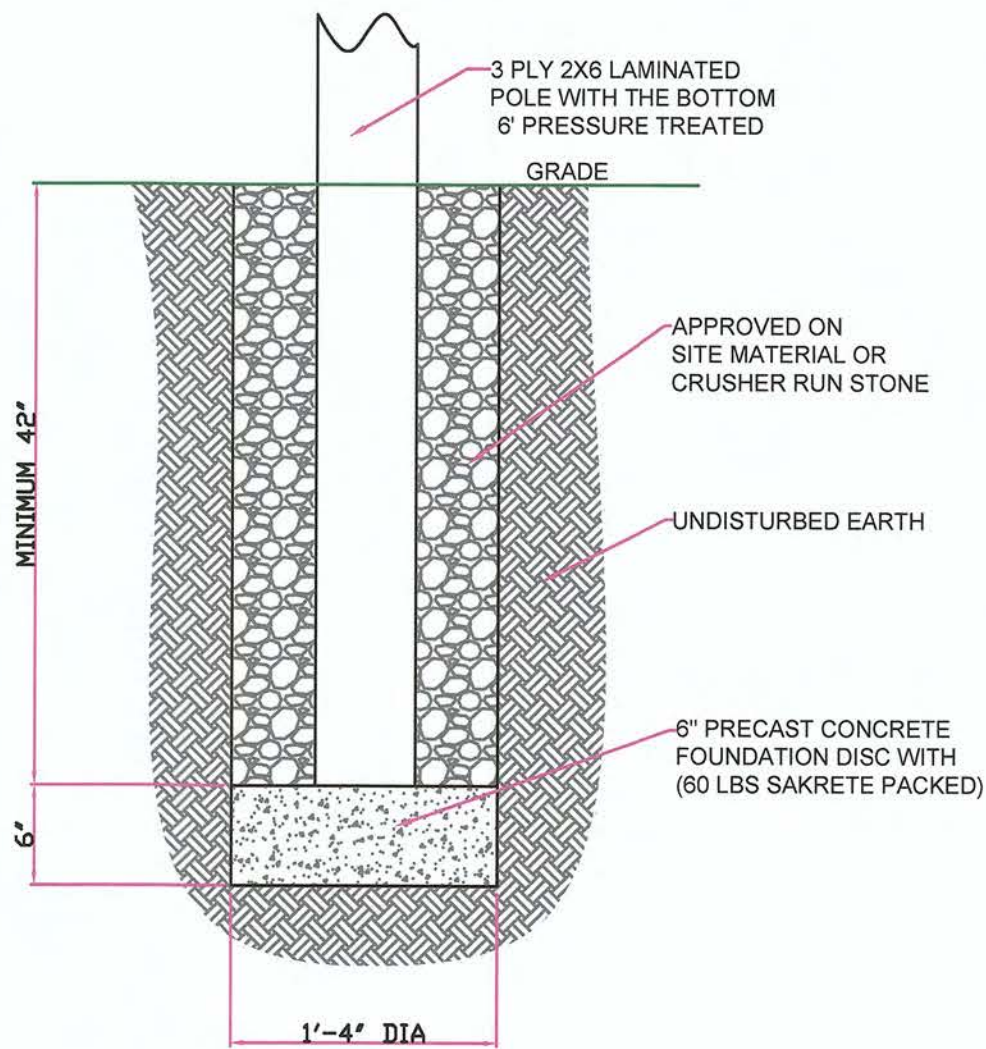
SECTION DETAILS

DRAWING A - 1.5	DATE 12/9/2021	SCALE: 3/16"=1'0"
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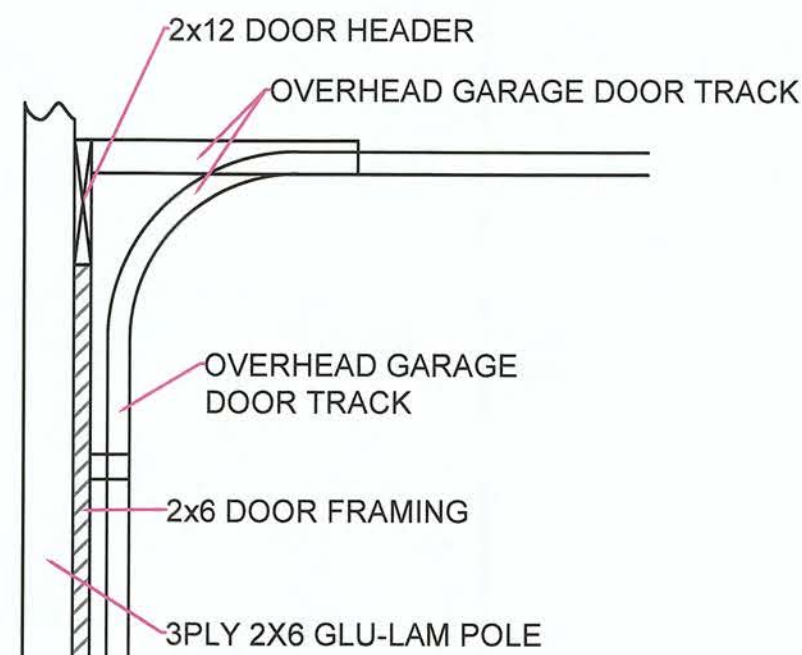
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FOOTER DETAIL

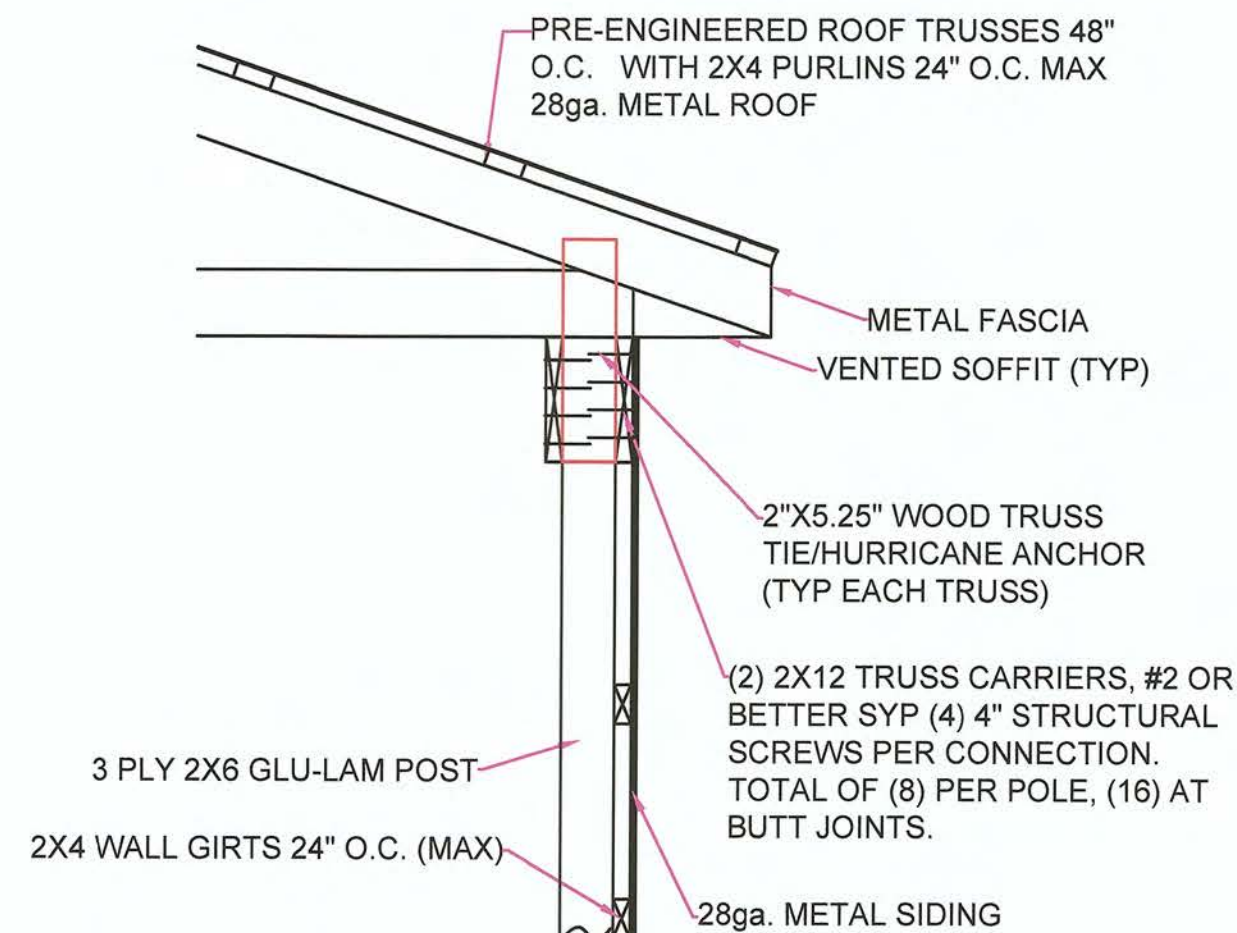
SCALE: 1" = 1'0"



OVERHEAD DOOR HEADER DETAIL

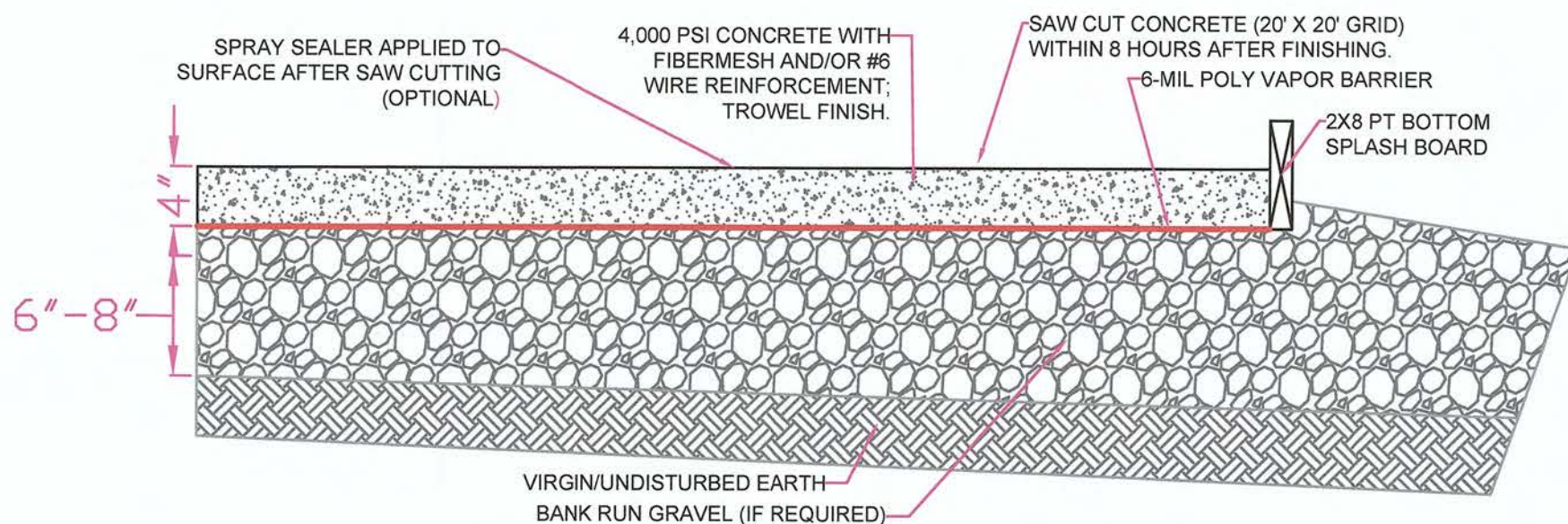
SCALE: 1/2" = 1'0"

MATERIALS SUMMARY TABLE	
ITEM	DIMENSIONS/DESCRIPTION
POSTS	3 PLY 2X6 GLU-LAM POSTS WITH BOTTOM 6' TREATED
HEADERS	(2) 2X12 SOUTHERN YELLOW PINE
PURLINS (ROOF & SIDES)	2X4 @ 24" O.C. MAX
BOTTOM/BASE BOARD	2X8 PRESSURE TREATED
"Y" BRACES	2X6
TRUSS CROSS BRACE	2X4
TRUSS FOR BUILDING	PRE-ENGINEERED TRUSS 48" O.C. WITH 4/12 TOP CHORD, 10.5" TAILS FOR 12" OVERHANG.
TRUSS TIES	2X6 (BOTH ENDS OF TRUSS) BETWEEN HEADERS
STRUCTURAL SCREWS	5/16" X 4" GRK TIMBER SCREWS
ROOFING	28ga. PAINTED METAL ROOFING PANELS
SIDING	28ga. PAINTED METAL SIDING PANELS
CEILING	NONE (EXPOSED TRUSS)
INSULATION	NONE (UNFINISHED SPACE)



HEADER & WALL DETAIL

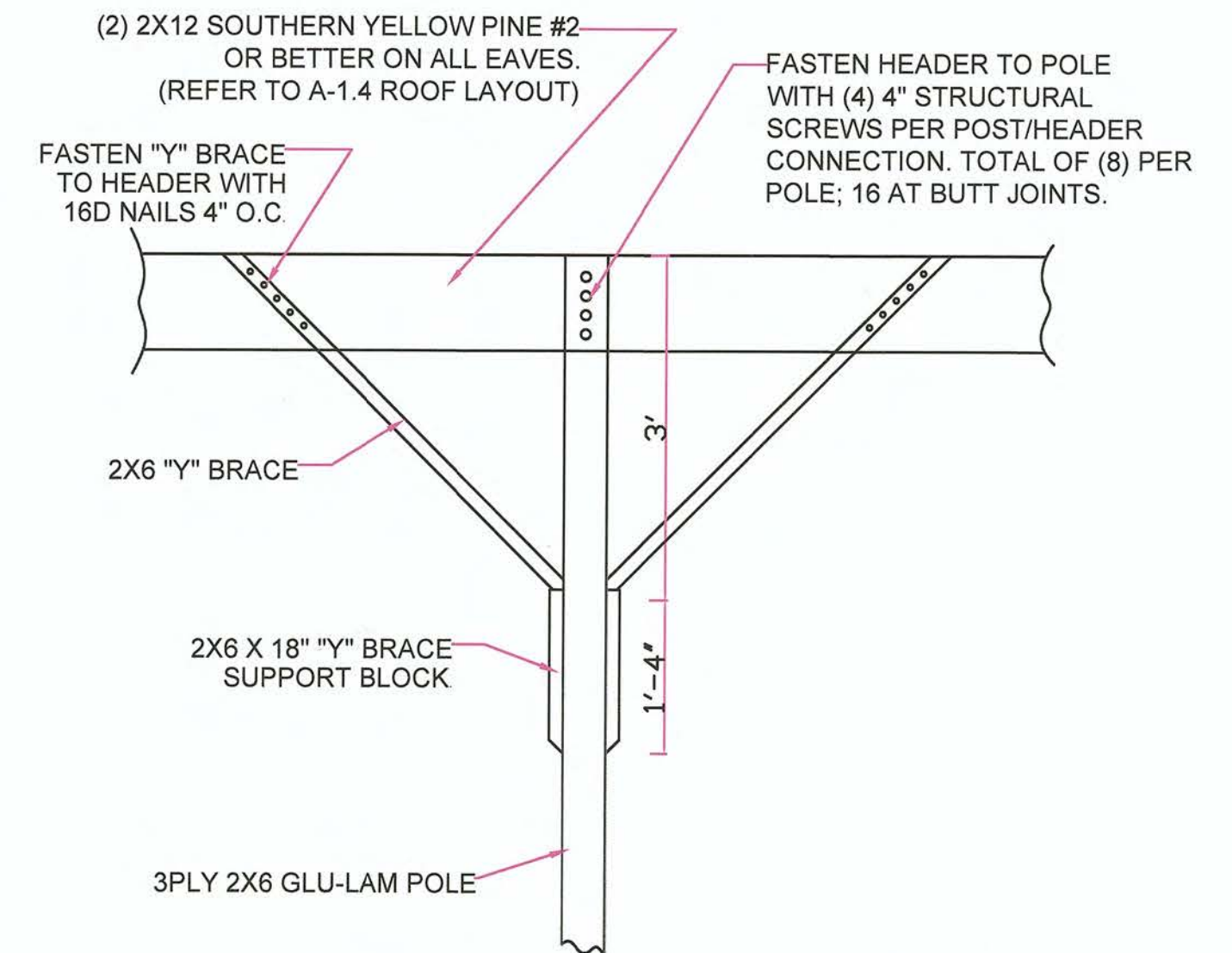
SCALE: 1/2" = 1'0"



CONCRETE FLOOR DETAIL

SCALE: 3/4" = 1'0"

FASTENER SCHEDULE			
WOOD FRAMING			
ITEM	QTY	TYPE	COMMENTS
2x12 SYP HEADERS	4	5/16"x4" GRK SCREW	PER POST, PER CONNECTION
FASCIA	3	3-1/4" 16D NAILS	PER CONNECTION
ROOF PURLINS	2	3-1/4" 16D NAILS	PER CONNECTION
TRUSS BRACING	2	3-1/4" 16D NAILS	PER CONNECTION
16" "Y" BRACE BLOCKS	8	3-1/4" 16D NAILS	PER CONNECTION
2x6 "Y" BRACING	8	3-1/4" 16D NAILS	PER CONNECTION
TRUSSES TO POLE	6	3-1/4" 16D NAILS	PER CONNECTION
HURRICANE TIES TO HEADER	8	3-1/4" 16D NAILS	PER CONNECTION
HURRICANE TIES TO TRUSS	6	3-1/4" 16D NAILS	PER CONNECTION
2x6 KNEE BRACING-POLE	8	3-1/4" 16D NAILS	PER CONNECTION
2x6 KNEE BRACING-TRUSS	6	3-1/4" 16D NAILS	PER CONNECTION
2x8 TREATED SPLASH BOARD	4	3-1/4" 16D HDG NAILS	PER CONNECTION
ROOFING			
28ga. METAL ROOFING	1	1-1/2" ST WOOD SCREW	1 SCREW 9" O.C. @ EACH PURLIN
28ga. METAL SIDING	1	1" ST WOOD SCREW	1 SCREW 9" O.C. @ EACH PURLIN
STEEL RIDGECAP	1	2" ST WOOD SCREW	1 SCREW 9" O.C. @ EACH PURLIN



"Y" BRACE DETAIL

SCALE: 1/2" = 1'0"

TERESA JOHNSTON 3825 ATLANTIC AVE FAIRPORT NY 14450 (T) W. WALWORTH - MONROE COUNTY	MISCELLANEOUS DETAILS	
	DRAWING A - 1.6	DATE 12/9/2021
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792

3824

3856

Atlantic Ave (NY286)

2

3817

3825

3856

10



3825 Atlantic Avenue Farmen & Sons Sign Map

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ZONING BOARD OF APPEALS AGENDA

Public Hearing Application #6

Application # 22Z-0006
2171 Carter Road
Marco G. Viola

See Pages to Follow



Date: December 17, 2021

From: Marco G. Viola
2171 Carter Road
Fairport NY 14450

To: Penfield Zoning Board

Dear Zoning Board:

Please accept my intent and variance application to construct a pole barn to store my classic cars greater than my property square footage allotment and keep an existing small shed. The following points summarize my objective and request;

- 1.) my current home and property possess an attached garage, a detached garage, and a small shed.
- 2.) I would like to remove the existing detached garage (20'X25').
- 3.) construct a new pole barn (42'X64') sized at 2,688 square feet, requesting an additional 284 square feet above my allotted 2,404 on my 5.5-acre property.
- 4.) Keep an existing small storage shed (10'X20')

The new pole barn will be constructed of Hardi-Board planking to match my home and will have a black metal roof. The existing detached garage that I plan to tear down and remove, is old and unsightly. Since the new pole barn is parallel to my home, I'm making a greater investment to match the décor and esthetics to enhance the overall layout of my property. The existing small 10'X20' shed is new from the previous owner (I've lived in this home since August 2021) and I'd like to keep that shed for yard maintenance equipment. My home and site for the new pole barn are 360 feet from Carter Road and are both unviewable from the road. Please accept my request for the two variances and I look forward to meeting the board on January 20, 2022.

Regards,
Marco G. Viola
Home Owner - 2171 Carter Road, Fairport NY 14450

SCANNED



S 0° 50' 52" E
315.75

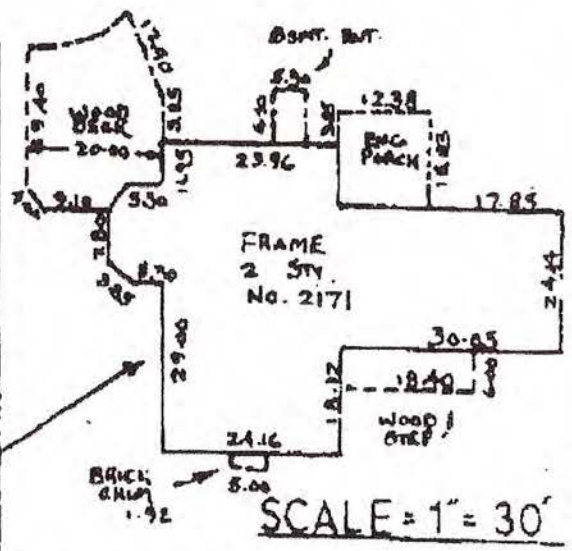
AREA = 5.52 ACRES

N 88° 38' 29" E
763.10

5

6

FRAME 2 STY.
NO. 2171



SCALE = 1" = 30'

REFERENCES:

- 1) LIBER 246 OF MAPS PAGE 26
- 2) LIBER 7194 OF DEEDS PAGE 244

* EXISTING
SIDE
(KEEP)

CERTIFY TO:

KARIN CROSS
WELLS FARGO BANK N.A. ITS
SUCCESSORS AND / OR
ASSIGNS AS THEIR INTEREST
MAY APPEAR

MARCHIONI & ASSOCIATES

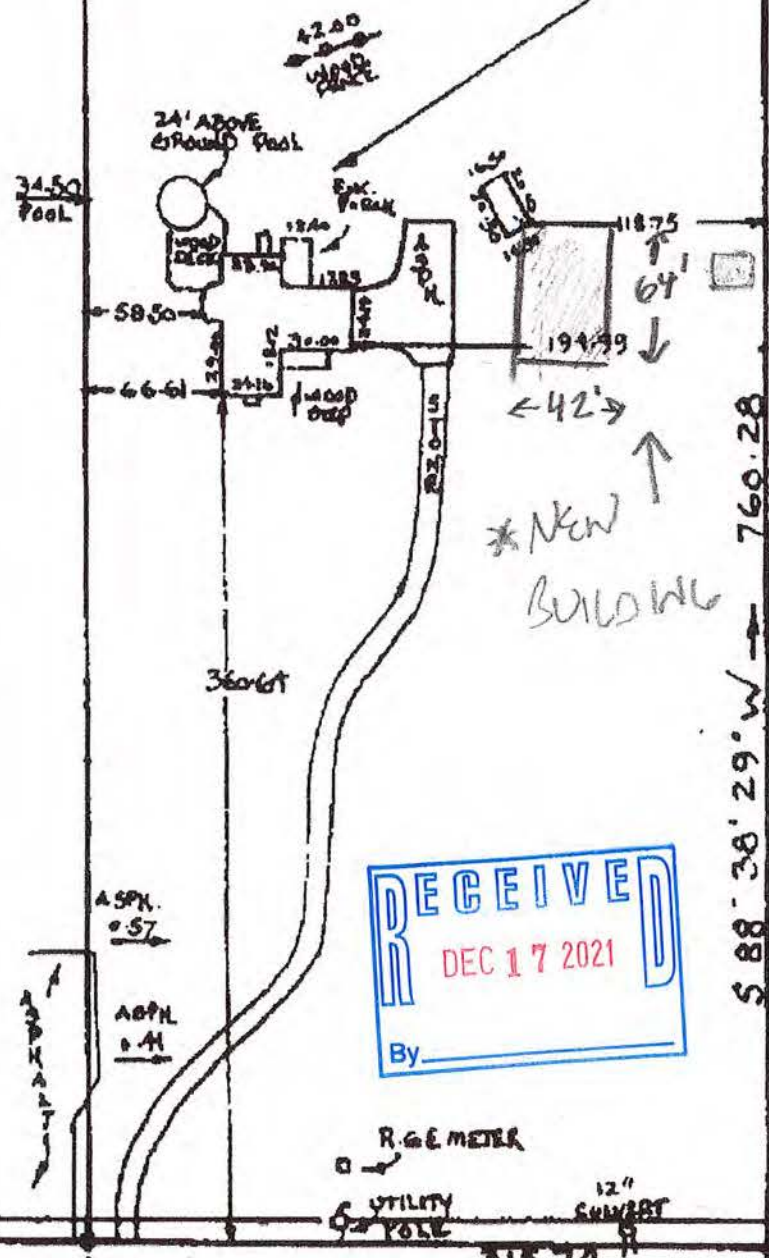
THE TITLE INSURANCE
COMPANY INSURING THE
MORTGAGE

LEGEND:

- IRON PIN FOUND
- ▲ P.K. NAIL FOUND

SCANNED

NO. 2101 CARTER ROAD
W/F GARY & RACHEL GOMEY
TAX ACCT. NO. 140.02-1-25.14



RECEIVED
DEC 17 2021
By _____

S 88° 38' 29" W
760.28

N 1° 21' 31" W
315.74

665.69 FEET TO THE
C. OF PENFIELD

10/2/2021

Marco Viola
24 Scarborough Park
Rochester, NY 14625
Home: (585) 354-0216
Other:



Dear Marco:

Thank you for giving us the opportunity to present you with a proposal for your building project. I will follow up with you within the next few days to answer any questions or concerns you might have.

As your Sales Consultant, I will work closely with you throughout the entire building process to help with financing, site selection, site layout for optimum land usage, site preparation and many issues you may not have considered, such as permits and proper drainage.

Morton Buildings, Inc. is the only building company that is fully integrated from receiving raw materials all the way to handing the keys over to you at the end of construction. This allows us to maintain our high quality, erecting buildings that operate efficiently with minimum maintenance and low costs year after year.

From basic to bold, small to large, and plain to fancy, Morton's buildings are constructed to satisfy almost every customer's needs. We put only the best materials and workmanship into every building and that is why we can confidently back our product with a very strong warranty package. Additionally, we can help guide you to a variety of sources for financing your construction project.

Again, thank you for allowing us to present you with this building proposal. I look forward to helping you make your building dream a reality.

Sincerely,

Kevin Proaper
Sales Consultant
Kevin.Proaper@mortonbuildings.com
Cell Phone: 585-356-9156

Office Phone: 585-786-8191
Office Fax: 585-786-5116
5616 Route 20A
Warsaw, NY 14569-9302

252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Building #1 Specifications

Building Info	Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
	306	42'	11'	64'	8'	4/12	1/12	19' 6.5"	11' 9"
306 42'x11'x64' (#1) - Building Use: Suburban - Garage									

Foundation

Morton Foundation System Morton Buildings, Inc. exclusive foundation system. Reinforced precast concrete column with an internal threaded adjustment bracket set in a readi-mix poured footing set below frost depth or a minimum of 4'-0" below building grade. Fastened to a laminated wood column with an internal column connector bracket. Treated Wood splashboard system, mounted at grade to column.

Siding

South, East, North, West wall(s) 7" reveal Hardi Plank without wainscot (Includes Building Wrap)

Roof

Hi-Rib Steel Minimum .019 (Fluoroflex™ 1000) (Fastened with Stainless Steel Screws) with Vent-A-Ridge
Structure has not been designed for installation of anything which could retain snow on the roof.

2 2'6" Square Cupola, Non Functional with 'M' 30" Weathervane

Overhangs

South, North wall(s) 1' Wide Vented Sidewall Overhang with Standard 6" fascia, 5" Gutters and 3"x4" Downspouts, with elbows at base
East, West wall(s) 1' Wide Non Vented Endwall Overhang with Standard 6" fascia

Walk Doors

1 A 3' x 6'8" 9 Lite Tempered Glass in Plain Flat Leaf Fibersteel Walk Door(s) in swing left hinge with lockset

Windows

4 B 2'5" x 3'11" PCD2947 Vent Pella Proline Clad Double Hung Window(s) with White Aluminum Grilles, Standard Unfinished Pine Interior, Champagne finished hardware

Overhead Door Opening

3 C 10'0" x 8'0" Overhead Door Opening (Requires a minimum 10' 2" X 8' 1" panel), OHD/ Operator requires 1' 6" Headroom, Available Headroom is 2' 9"
1 D 10'0" x 8'0" Overhead Door Opening (Requires a minimum 10' 2" X 8' 1" panel), OHD/ Operator requires 1' 6" Headroom, Available Headroom is 3' 11"

Framed Openings

1 E 2' X 2' (4 sq. ft.) Framed Open Wall (Bottom of opening set at 8' above grade)

Eyebrows

1 F 10 lineal feet of coverage, 2' wide Eyebrow, 6" fascia and 10/12 roof pitch, 8' 4" grade to soffit

Start eyebrow on South wall 10 feet from left edge of building for 10 feet
Start of eyebrow Hipped End and end of eyebrow Hipped End
Roof of eyebrow to be Fluoroflex™ 1000 Hi-Rib Steel
with 5" Gutter

Energy Performer

Ceiling Finish with Hi-Rib Steel (.019 White CQ Polyester Solid) Fastened to Lower Chord of Truss with Painted Steel Screws, 4 Mil Vapor Retarder and Air Deflector at Eaves Between Trusses
South, East, North, West wall(s) Interior Wall Finish with Hi-Rib Steel (.019 White Polyester) Fastened to Nailers with Painted Steel Screws, Wall Cavity is Insulated with 6" Fiberglass Insulation and 4 Mil Vapor Retarder

Subcontracts

Install R-38
Blown insulation over ceiling panels, total of 2688 SQ/FT

Additional Information**Manually Added**

LF FRIEZE BOARD TRIM
SQ FT REMOVE STEEL ONLY FROM SIDEWALL
-840.00 SQ FT EP STL CEILING .019 (White Poly) 7'-6" & 8' OC

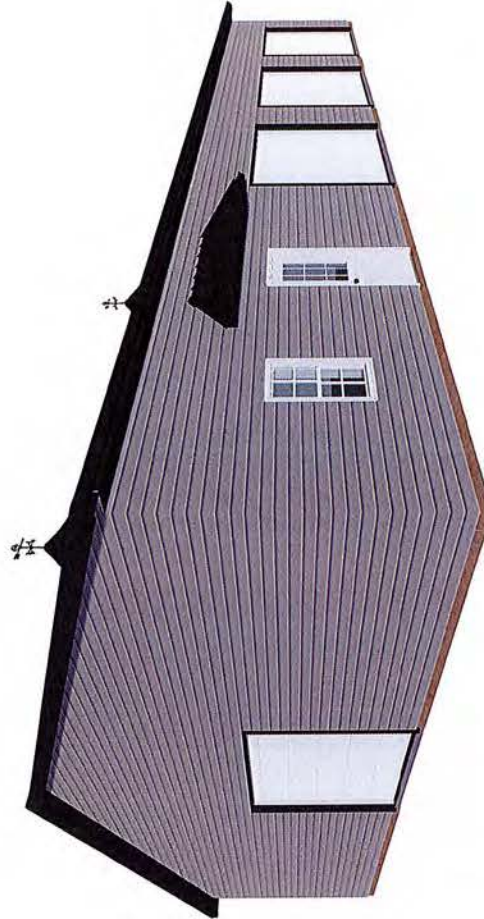
Building includes Hardi-Plank siding with feize boards around windows, walk doors, overhead doors, and corners of the building.

Structure is fully insulated, west end is stripped and ready for finsih by owner.

Overhead door panels are not included.

252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

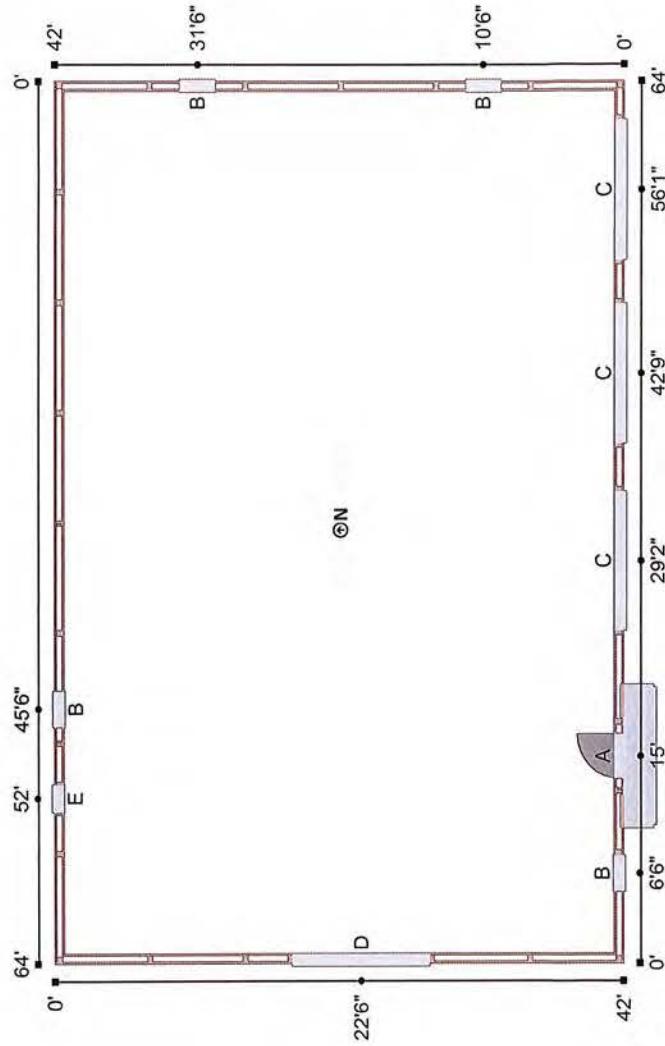
306 42'x11'x64' West and South Walls



306 42'x11'x64' East and North Walls



306 42'x11'x64' (#1) Column Plan





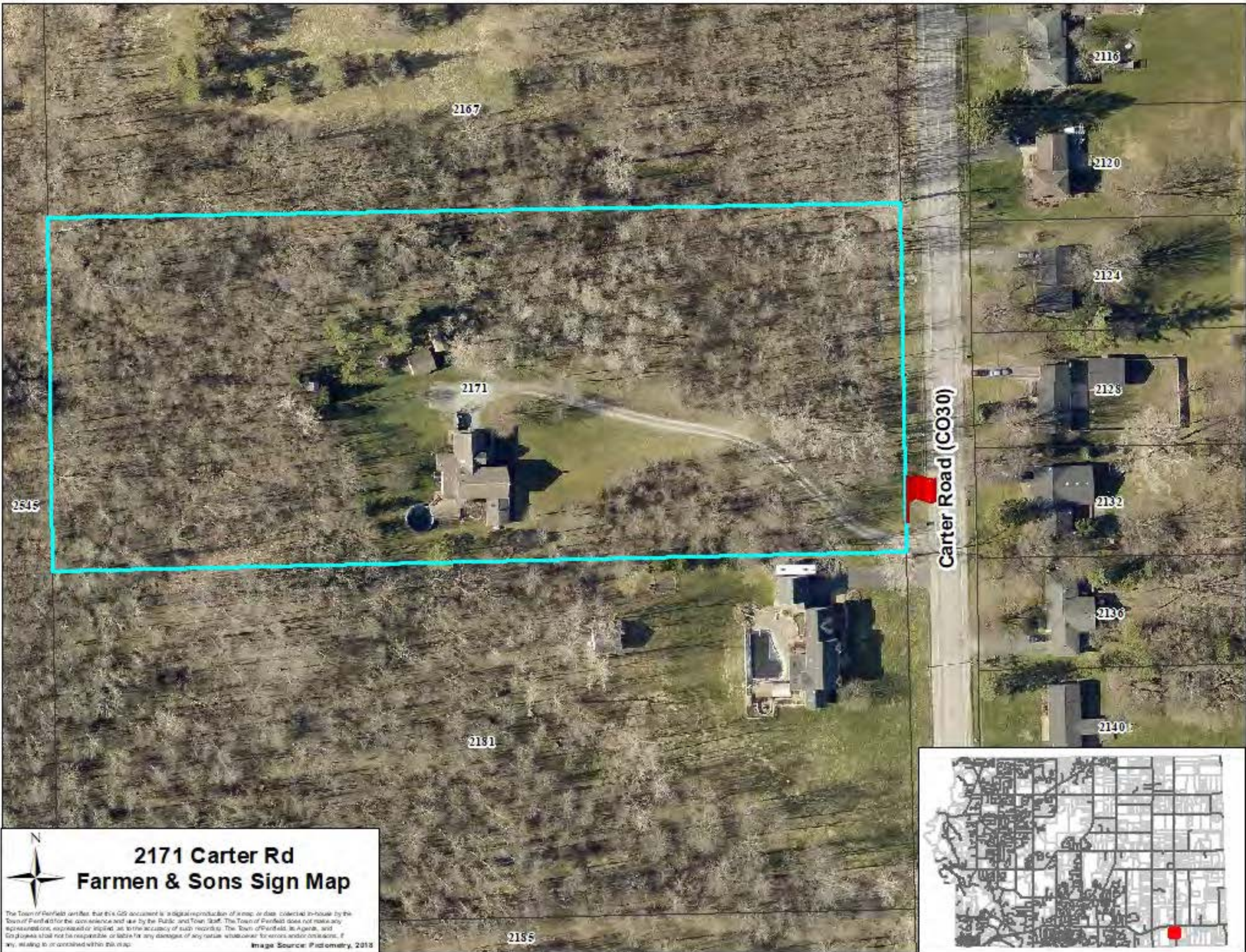
252 W. Adams, P.O. Box 399 • Morton, Illinois 61550-0399

Building Investment

* Building Proposal Good for 1 Days from the date specified on cover letter.

If you accept this pricing proposal you must enter into a written building order which contains additional terms and conditions. This proposal is not intended to be a contract for construction.

This proposal contains information which is proprietary and/or are trade secrets and may not be disclosed to third-parties without the express written authorization of Morton Buildings, Inc.



2535

2167

2116

2120

2124

2171

2128

2132

2136

Carter Road (CO30)

2140

2131

2135



2171 Carter Rd Farmen & Sons Sign Map

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